

EXTERIOR PAINTING AT JERSEY AVENUE ELEM. SCHOOL

AT

LITTLE LAKE CITY SCHOOL DISTRICT

10515 South Pioneer Boulevard, Santa Fe Springs, CA 90670

DESIGN TEAM

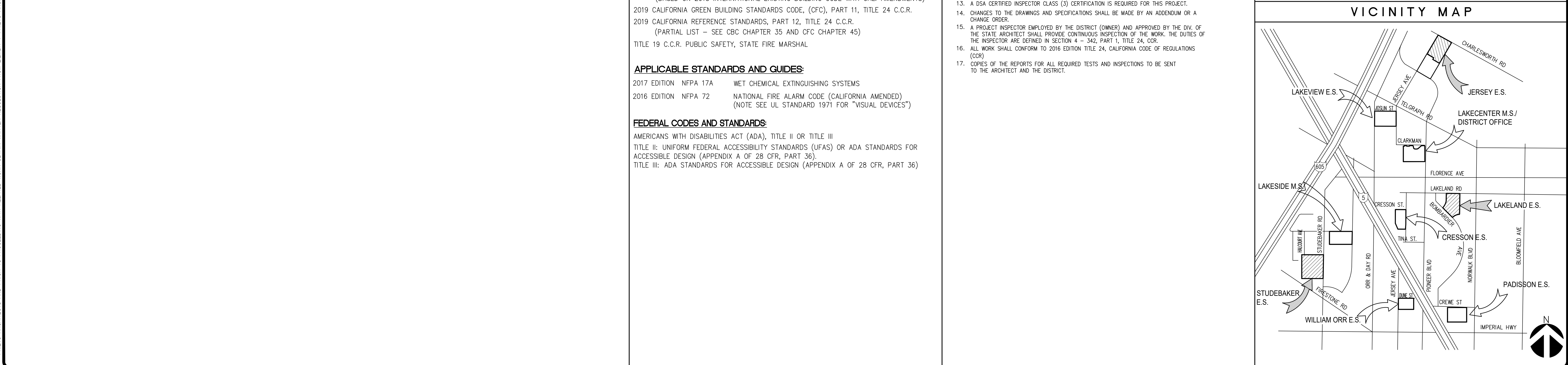
ARCHITECT	ZIEMBA + PRIETO ARCHITECTS	ADDRESS	601 S. GLENOAKS BLVD., SUITE 400, BURBANK, CA 91502	TELEPHONE	(818) 841-2585	FACSIMILE	(818) 841-7782	EMAIL	jprieto@ziembaprietoarch.com
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ABBREVIATIONS	DISTRICT CONTACT	SYMBOLS	SCOPE OF WORK
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<p>9 AT ANCHOR BOLT ABV ABOVE A/C AIR CONDITIONING AFF ABOVE FINISHED FLOOR ARCH ARCHITECT(URAL) B BOLT BD BOARD BLDC BUILDING BLOCK BLK BLOCK BLKG BLOCKING BM BEAM BOTT BOTTOM BOW BOTTOM OF WALL BRG BEARING CAB CABINET C CASI-IRON CJ CONTROL JOINT CL CLOSET CLR CLEAR CO CASD OPENING COL COLUMN CONC CONCRETE CONC BLK CONCRETE BLOCK CONST CONSTRUCTION CONT CONTINUOUS CONT PENNY DBL DOUBLE DEMO DEMOLITION D.F. DRINKING FOUNTAIN</p> <p>DIA DIAMETER DIM DIMENSION DN DOWN DS DOWNSPOUT DWS DRAWING E EXISTING EA EACH EJ EXPANSION JOINT ELEC ELECTRICAL ELEV ELEVATION EQ EQUAL E.S.E.W. EVENLY SPACED EACH WAY E.W. EACH WAY EXT EXTERIOR FD FLOOR DRAIN FND FOUNDATION FE FIRE EXTINGUISHER FFE FINISHED FLOOR ELEVATION FF FINISHED FLOOR FLL FINISHED FLOOR LINE FG FIXED GLASS FLR FLOOR FLUOR FLUORESCENT FOC FACE OF CONCRETE FOF FACE OF FINISH FOM FACE OF MASONRY FOS FACE OF SHEATHING FP FIREPROOF</p> <p>FRMG FRAMING FT FEET/FOOT FTO FOOTING GA GAUGE GC GENERAL CONTRACTOR GL GLASS GV GALVANIZED GYP GYP-SIM HA HEADED ANCHOR HAS HEADED ANCHOR STUD HB HOSE BB HC HOLLOW CORE HD HEAD HR HOUR HRZ HORIZONTAL HT HEIGHT INSUL INSULATION INT INTERIOR JST JOIST JT JOINT KIT KITCHEN LAM LAMINATE LBL LABEL LBS POUNDS LVR LOUVER MAS MASONRY MAT MATERIAL</p> <p>MAX MAXIMUM MB MACHINE BOLT MFR MANUFACTURER MIN MINIMUM MISC MISCELLANEOUS MIL METAL N NEW N.I.C. NOT IN CONTRACT N.T.S. NOT TO SCALE OC ON CENTER OPENG OPENING O.S. OVERFLOW SCUPPER P.D. PHYSICALLY DISABLED P.H. PANIC HARDWARE PL PLASTER P.O.T. PATH OF TRAVEL PLYWOOD PLYWOOD PNL PANEL P.T. PRESSURE TREATED R REFERENCE REF REINFORCING REQ REQUIRED R.L. ROOF LADDER RND ROUND SBL SOLID BLOCKING SC SOLID CORE SHT SHEET SHTG SHEATHING</p> <p>SIM SIMILAR SQ SQUARE SS STAINLESS STEEL STIFF STIFFENER STEEL STEEL STRUCT STRUCTURAL SUSP SUSPENDED TAB TOP & BOTTOM T&G TONGUE & GROOVE TEMP TEMPERED THK THICKNESS T.O. TOP OF T.O.B. TOP OF BEAM TOC TOP OF CONCRETE TOM TOP OF MASONRY T.O.P. TOP OF PARAPET T.O.S. TOP OF SHEATHING T.S. TUBE STEEL TOW TOP OF WALL TYP TYPICAL U.N.O. UNLESS NOTED OTHERWISE VERT VERTICAL V.I.F. VERIFY IN FIELD W/ WITH W/O WITHOUT WC WATER CLOSET WD WOOD WP WATERPROOF WSCT WANSLOT</p>	<p>MR. BRENT GRIFFEN - DIRECTOR OF MAINTENANCE, OPERATIONS AND CUSTODIAL SERVICES</p> <p>LITTLE LAKE CITY SCHOOL DISTRICT 10515 SOUTH PIONEER BLVD. SANTA FE SPRINGS, CA 90670</p> <p>TEL: 562-577-2139 EMAIL: BGRIFFEN@LLCSD.NET</p>	<p>RESTROOM ROOM NAME [A09] ROOM NUMBER</p> <p>DS DEMOLITION KEYNOTE</p> <p>CONSTRUCTION KEYNOTE</p> <p>6 MATERIAL INDICATION A COLOR INDICATION</p> <p>1 REVISION NO.</p> <p>1 DETAIL NO. [A6.3] SHT. NO.</p> <p>1 SECTION CUT OR ELEVATION NUMBER [A5.7] SHT. NO.</p>	<p>(REFER TO CONTRACT DOCUMENTS FOR REMAINDER OF WORK)</p> <p>THE SCOPE OF WORK SHALL CONSIST OF THE FOLLOWING:</p> <ol style="list-style-type: none"> PAINT ALL EXTERIOR BUILDING FINISHES PAINT ALL EXTERIOR COVERED WALKWAYS INCLUDING FASCIAS, POST/COLUMNS, AND UNDERSIDE OF STRUCTURES PATCH AND REPAIR ALL EXTERIOR FINISHES REPLACE AND REPAIR ALL DAMAGED ROOF TRIM AND FASCIAS
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INDEX OF DRAWINGS	APPLICABLE CODES	GENERAL NOTES	MATERIALS LEGEND
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VOLUMES 1 & 2, (BASED ON 2018 EDITION INTERNATIONAL BUILDING CODE WITH CAL. AMENDMENTS)</p> <p>2019 CALIFORNIA ELECTRICAL CODE, (CEC), PART 3, TITLE 24 C.C.R. (BASED ON 2017 NATIONAL ELECTRICAL CODE WITH CALIFORNIA AMENDMENTS)</p> <p>2019 CALIFORNIA MECHANICAL CODE, (CMC), PART 4, TITLE 24 C.C.R. (BASED ON 2018 IAPMO UNIFORM MECHANICAL CODE WITH CAL. AMENDMENTS)</p> <p>2019 CALIFORNIA PLUMBING CODE, (CPC), PART 5, TITLE 24 C.C.R. (BASED ON 2018 IAPMO UNIFORM PLUMBING CODE WITH CALIFORNIA AMENDMENTS)</p> <p>2019 CALIFORNIA ENERGY CODE, PART 6, TITLE 24 C.C.R.</p> <p>2019 CALIFORNIA FIRE CODE, (CFC), PART 9, TITLE 24 C.C.R. (BASED ON 2018 INTERNATIONAL FIRE CODE WITH CALIFORNIA AMENDMENTS)</p> <p>2019 CALIFORNIA EXISTING BUILDING CODE, (CEC), PART 10, TITLE 24 C.C.R. (BASED ON 2018 INTERNATIONAL EXISTING BUILDING CODE WITH CAL. AMENDMENTS)</p> <p>2019 CALIFORNIA GREEN BUILDING STANDARDS CODE, (CFC), PART 11, TITLE 24 C.C.R.</p> <p>2019 CALIFORNIA REFERENCE STANDARDS, PART 12, TITLE 24 C.C.R. (PARTIAL LIST - SEE CBC CHAPTER 35 AND CFC CHAPTER 45)</p> <p>TITLE 19 C.C.R. PUBLIC SAFETY, STATE FIRE MARSHAL</p> <p>APPLICABLE STANDARDS AND GUIDES:</p> <p>2017 EDITION NFPA 17A WET CHEMICAL EXTINGUISHING SYSTEMS 2016 EDITION NFPA 72 NATIONAL FIRE ALARM CODE (CALIFORNIA AMENDED) (NOTE SEE UL STANDARD 1971 FOR "VISUAL DEVICES")</p> <p>FEDERAL CODES AND STANDARDS:</p> <p>AMERICANS WITH DISABILITIES ACT (ADA), TITLE II OR TITLE III TITLE II: UNIFORM FEDERAL ACCESSIBILITY STANDARDS (UFAS) OR ADA STANDARDS FOR ACCESSIBLE DESIGN (APPENDIX A OF 28 CFR, PART 36) TITLE III: ADA STANDARDS FOR ACCESSIBLE DESIGN (APPENDIX A OF 28 CFR, PART 36)</p>	<ol style="list-style-type: none"> CONTRACTOR TO FOLLOW PROVISIONS OF PARTS 1&2 CALIFORNIA CODE OF REGULATIONS OF TITLE 24. CONTRACTOR TO COMPLY WITH ALL APPLICABLE SAFETY LAWS; OSHA, CAL OSHA, ETC. CONTRACTOR SHALL PROVIDE DISTRICT WITH A WRITTEN SEQUENCE OF WORK WHICH IS TO BE APPROVED PRIOR TO THE START OF CONSTRUCTION. THE DISTRICT SHALL PROVIDE THE CONTRACTORS WITH UTILITIES (ELECTRICITY AND WATER) FOR THEIR PORTION OF THE WORK. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SECURING HIS EQUIPMENT, SUPPLIES, TOOLS, ETC. DETAILS MARKED TYPICAL ON DRAWINGS ARE INTENDED TO SHOW TYPICAL CONDITIONS FOR THE ENTIRE PROJECT AND ARE TO APPLY WHERE SIMILAR CONDITIONS OCCUR. ALL EXISTING DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTORS IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO CONSTRUCTION. SHOULD ANY CONDITION DEVELOP NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH TITLE 24, C.C.R. A CHANGE ORDER DETAILING AND SPECIFYING THE REQUIRED WORK WILL BE SUBMITTED TO AND APPROVED BY THE DIVISION OF THE STATE ARCHITECT BEFORE PROCEEDING WITH THE WORK. AT CONCLUSION OF HIS OPERATIONS, THE CONTRACTOR SHALL LEAVE THE SITE CLEAN TO THE SATISFACTION OF THE DISTRICT. CONTRACTOR TO PROVIDE SCHOOL DISTRICT WITH WRITTEN CERTIFICATION THAT ALL MATERIALS USED ON THIS PROJECT ARE ASBESTOS FREE. ALL DEBRIS REMOVED DUE TO NEW WORK BEING ACCOMPLISHED SHALL BE BROUGHT TO A LEGAL DUMP AT THE CONTRACTORS EXPENSE. ASTM DESIGNATIONS TO BE OF LATEST DATE ACCEPTABLE TO THE CHECKING AGENCY. A DSA CERTIFIED INSPECTOR CLASS (3) CERTIFICATION IS REQUIRED FOR THIS PROJECT. CHANGES TO THE DRAWINGS AND SPECIFICATIONS SHALL BE MADE BY AN ADDENDUM OR A CHANGE ORDER. A PROJECT INSPECTOR EMPLOYED BY THE DISTRICT (OWNER) AND APPROVED BY THE DIV. OF THE STATE ARCHITECT SHALL PROVIDE CONTINUOUS INSPECTION OF THE WORK. THE DUTIES OF THE INSPECTOR ARE DEFINED IN SECTION 4 - 342, PART 1, TITLE 24, C.C.R. ALL WORK SHALL CONFORM TO 2016 EDITION TITLE 24, CALIFORNIA CODE OF REGULATIONS (CCR) COPIES OF THE REPORTS FOR ALL REQUIRED TESTS AND INSPECTIONS TO BE SENT TO THE ARCHITECT AND THE DISTRICT. 	<p>MATERIALS LEGEND</p> <table border="1"> <tr> <td>MASONRY</td> <td>ROUGH LUMBER CONTINUOUS MEMBER</td> </tr> <tr> <td>STEEL</td> <td>ROUGH LUMBER/BLOCKING</td> </tr> <tr> <td>BATT INSULATION</td> <td>CONCRETE</td> </tr> <tr> <td>RIGID INSULATION</td> <td>PLYWOOD</td> </tr> <tr> <td>PLASTER</td> <td>CERAMIC/ QUARRY TILE</td> </tr> <tr> <td>GYP. 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DATE: 03/11/22	JOB NO.: 180104	DESIGNED BY: KC	DRAWN BY: KC	CHECKED BY: JP
NO.	NO.	DATE	REVISION	BY

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SANTA FE SPRINGS, CA 90670

DISTRICT WIDE PAINTING PROJECT
9400 JERSEY AVENUE
SANTA FE SPRINGS, CALIFORNIA 90670

DESIGN TEAM: ABBREVIATIONS, SYMBOLS, CODES, VICINITY MAP & INDEX

PROFESSIONAL ARCHITECT
C-33216
RENEWAL DATE
NOV. 30, 2023
STATE OF CALIFORNIA

SHEET NO.
T1.0

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TYPICAL GENERAL NOTES - CONTINUED

- 51. ALL DIMENSIONS SHOWN ARE FOR ESTIMATING PURPOSES ONLY. CONTRACTORS SHALL BE REQUIRED, PRIOR TO BID, TO VERIFY ALL DIMENSIONS AND AREAS TO RECEIVE DEMOLITION OF EXISTING MATERIALS AND INSTALLATION OF GUTTERS, FASCIAS, FLASHING, ETC. ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, PRIOR TO BID.
52. CONTRACTOR SHALL BE REQUIRED TO PROVIDE AND INSTALL ALL EQUIPMENT AND RELATED ITEMS AS SHOWN IN THESE CONTRACT DOCUMENTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING CONDITIONS IN FIELD, PRIOR TO BID AND DETERMINE THE WORK NECESSARY TO COMPLETE THE PROJECT.
53. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF EXISTING CONDITIONS ON THE JOB SITE, PRIOR TO THE START OF WORK OF PORTIONS OF THE WORK. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS. EXISTING CONDITIONS ARE INDICATED AS A RESULT OF INFORMATION SHOWN ON AVAILABLE DOCUMENTS. ANY DAMAGE TO EXISTING CONDITIONS IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
54. ALL STANDARDS, MATERIALS AND WORKMANSHIP SHALL COMPLY WITH THE CALIFORNIA BUILDING CODES, ORDINANCES, REGULATIONS AND LAWS.
55. WHERE ANY CONFLICT OCCURS BETWEEN THE REQUIREMENTS OF FEDERAL, STATE AND LOCAL LAWS, CODES, ORDINANCES, RULES AND REGULATIONS, THE MOST STRINGENT SHALL GOVERN.
56. OCCUPATIONAL SAFETY AND HEALTH: THESE DOCUMENTS AND THE CONSTRUCTION HEREBY CONTEMPLATED, SHALL BE GOVERNED AT ALL TIMES BY APPLICABLE PROVISIONS OF THE CALIFORNIA OCCUPATIONAL SAFETY AND HEALTH ACT OF 1973, (CAL/OSHA) AND ALL UPDATES SINCE.
57. DETAILS MARKED "TYPICAL" SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY INDICATED OTHERWISE.
58. IN ORDER TO CONNECT AND OR REMOVE EXISTING UTILITY LINES AND INSTALL UTILITY LINES IT MAY BE NECESSARY TO REMOVE EXISTING FRAMING, CONCRETE, FINISHES, ETC. AT SEVERAL ROOMS. SOME OF THESE ROOMS MAY NOT HAVE ANY SCHEDULED WORK IN THEM. IT IS THE CONTRACTORS RESPONSIBILITY TO INCLUDE ALL NECESSARY DEMOLITION, RE-CONSTRUCTION IN THIS BID. (MATCH EXISTING FINISHES AT EXISTING ROOMS NOT SCHEDULED FOR FINISHES).
59. DURING CONSTRUCTION, CONTRACTOR SHALL MAINTAIN ALL LANDSCAPING AND IRRIGATION. THIS INCLUDES REGULAR MOWING, TRIMMING, MAKING IRRIGATION REPAIRS, ETC. AREAS DAMAGED SHALL BE REPLACED TO THE SATISFACTION OF THE DISTRICT AT NO ADDITIONAL COST.
60. WHERE A CONFLICT OCCURS BETWEEN THE CONSTRUCTION DOCUMENTS (DRAWINGS, DETAILS, NOTES & SPECIFICATIONS) THE MOST STRINGENT & RESTRICTIVE INTERPRETATION SHALL APPLY.
61. PRECAUTIONS SHALL BE TAKEN BY THE CONTRACTOR TO NOT DAMAGE EXISTING ASPHALT OR CONCRETE PAVING. DAMAGED PAVING SHALL BE CUT BACK TO THE NEAREST SCORE JOINT AND REPLACED. INSTALL CONCRETE PAVING / PATCHING AS REQUIRED ON DRAWINGS; DOMEL CONCRETE SLAB TO EXISTING SLAB, REFER TO DRAWINGS FOR PATCHING DETAILS. A.C. PAVING DAMAGED DURING CONSTRUCTION SHALL BE REPLACED AS SHOWN IN DETAIL DRAWINGS.
62. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT THE SITE ONCE HE IS GIVEN THE NOTICE TO PROCEED. ANY DAMAGE, THEFT AND OR FIRE DAMAGE TO THE SITE AND / OR BUILDINGS IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
63. THE CONTRACTOR IS RESPONSIBLE TO PROTECT THE BUILDING UNTIL IT IS ACCEPTED BY THE DISTRICT (FIRE, THEFT, WEATHER DAMAGE, ETC.) AT HIS SOLE EXPENSE.

TYPICAL GENERAL NOTES

- 1. THESE DRAWINGS INDICATE THE END RESULT. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE JOB SITE PRIOR TO BID SUBMITTAL TO DETERMINE ANY PROBLEMS HE WILL HAVE IN PERFORMING THE WORK. THE BID SHALL INCLUDE THE COST OF THE RESOLUTION OF ALL PROBLEMS.
2. EXISTING RECORD DRAWINGS (NOT NECESSARILY CORRECT OR UP-TO-DATE) MAY BE INSPECTED AT THE DISTRICT'S OFFICE. PRIOR ARRANGEMENTS WITH THE DISTRICT IS REQUIRED.
3. EXISTING DIMENSIONS SHOWN ARE TAKEN FROM RECORD DRAWINGS PROVIDED BY THE OWNER. CONTRACTOR IS TO FIELD VERIFY ALL DIMENSIONS AND REPORT ANY INCONSISTENCIES IMMEDIATELY TO THE ARCHITECT.
4. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF TITLE 24, CA. CODE OF REGULATIONS (C.C.R.), REFER TO APPLICABLE CODES LISTED ON THE TITLE SHEET, T1.0. COMPLIANCE WITH ADDITIONAL NOTED STANDARDS, SHALL BE TO THE MOST RECENTLY ACCEPTED / PUBLISHED STANDARDS, AS APPROVED BY THE GOVERNING AGENCY.
5. CONTRACTOR SHALL REMAIN SOLELY RESPONSIBLE FOR INSTALLING / MAINTAINING ADEQUATE BRACING DURING CONSTRUCTION UNTIL THE STRUCTURE IS SUFFICIENTLY COMPLETE TO PROVIDE SUPPORT FOR THE VARIOUS INDIVIDUAL ELEMENTS AS INTENDED IN THE FINISHED STRUCTURE.
6. DETAILS MARKED "TYPICAL" ON THE CONSTRUCTION DOCUMENTS ARE INTENDED FOR TYPICAL CONDITIONS ON THE ENTIRE PROJECT AND SHALL APPLY WHERE SIMILAR CONDITIONS OCCUR.
7. ALL ITEMS ARE "NEW", UNLESS NOTED AS EXISTING, TYPICAL.
8. OCCUPANTS OF THE SITE SHALL BE SPARED INCONVENIENCE, DUE TO THE CONTRACTOR'S WORK. DEBRIS, ETC. THE DISTRICT SHALL BE NOTIFIED, IN ADVANCE, OF DELIVERY TIMES OF EQUIPMENT IN ORDER TO AVOID INTERFERENCE WITH THE NORMAL ACTIVITY OF THE SITE.
9. UPON CONCLUSION OF THE PROJECT, THE CONTRACTOR SHALL PROVIDE THE DISTRICT WITH WRITTEN CERTIFICATION THAT ALL MATERIALS USED ON THIS PROJECT ARE ASBESTOS FREE.
10. UPON CONCLUSION OF THE PROJECT, THE CONTRACTOR SHALL PROVIDE THE DISTRICT WITH MANUFACTURER'S SAFETY DATA SHEETS (MSDS) FOR ALL HAZARDOUS MATERIALS TO BE BROUGHT ON SITE TO PERFORM WORK UNDER THIS CONTRACT.
11. SHOULD ANY CONDITION DEVELOP NOT COVERED BY THE CONTRACT DOCUMENTS GOVERNING WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH THE CURRENT CODE, A CONSTRUCTION REQUEST FOR INFORMATION DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY THE ARCHITECT AND DISTRICT PRIOR TO PROCEEDING WITH THE WORK.
12. IF DURING DEMOLITION, CONSTRUCTION, ETC., ANY EXISTING UTILITY LINES ARE ENCOUNTERED, THEY MUST BE RELOCATED AS REQUIRED TO ACCOMPLISH NECESSARY CONSTRUCTION AND OR AS DIRECTED BY THE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
13. THESE DRAWINGS WERE PREPARED IN A MANNER CONSISTENT WITH EXISTING PROFESSIONAL STANDARDS AND WITH THE UNDERSTANDING THAT THESE DRAWINGS WOULD BE USED SOLELY BY QUALIFIED AND EXPERIENCED CONSTRUCTION AND OR DESIGN PROFESSIONALS FOR USE IN THE CONSTRUCTION OF THIS SPECIFIC PROJECT ONLY. THE DETAILS INDICATED ON THESE PLANS REPRESENT GENERAL TYPICAL DETAILS REQUIRED FOR COMMERCIAL WORK. THIS PROJECT'S DESIGN INTENT TO SUCH QUALIFIED CONSTRUCTION PROFESSIONALS AND AS SUCH MAY NOT INCLUDE ALL THE DETAILS NECESSARY FOR THE FINAL COMPLETION OF THIS PROJECT.
14. FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION SHALL COMPLY WITH CFC CHAPTER 33.
15. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW THE CONTRACT DOCUMENTS AND COORDINATE THE WORK, PRIOR TO THE COMMENCEMENT OF ANY PORTION OF THE WORK.
16. ALL DRAWINGS, NOTES, SYMBOLS, ETC. WITHIN THE CONTRACT DOCUMENT SET ARE INTENDED TO CONVEY THE DESIGN INTENT. NO DRAWING, NOTE, SYMBOL, ETC. SHALL SUPERSEDE ANOTHER. ALL CONFLICTS THAT ARISE SHALL BE REPORTED IN WRITING TO THE ARCHITECT FOR CLARIFICATION / RESOLUTION WITHIN THE DESIGN INTENT.
17. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING SITE CONDITIONS. IF DISCREPANCIES ARE ENCOUNTERED, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.
18. REFERENCING OF DRAWINGS IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT APPLICATION OF ANY DIMENSIONS ARE TO FACE OF FASCIAS FOR EXTERIOR, UNLESS OTHERWISE SHOWN OR NOTED.
19. PROVIDE ALL NECESSARY BLOCKING, BACKING PLATES, FRAMING, SUPPORTS AND ANCHORING DEVICES AS REQUIRED FOR THE INSTALLATION OF GUTTERS AND FASCIAS REFER TO DETAILS FOR ADDITIONAL SPECIFIC ITEMS.
20. A PROJECT INSPECTOR EMPLOYED BY THE DISTRICT (OWNER) WITH A CLASS 2 CERTIFICATION AND CERTIFIED BY THE DIVISION OF THE STATE ARCHITECT (DSA) SHALL PROVIDE CONTINUOUS INSPECTION OF THE WORK. THE DUTIES OF THE INSPECTOR AS DEFINED IN SECTION 4-342, CALIFORNIA ADMINISTRATIVE CODE (C.A.C.) PART 1, TITLE 24, CCR.
21. PROVIDE PROPER SLEEVING AND CONT. CAULKING FOR ALL PLUMBING, ELECTRICAL CONDUITS AND PIPES PASSING THROUGH BRICK OR PLASTER WALLS OR SOFFITS. SEAL ALL EXTERIOR WALL PENETRATIONS.
22. ALL EXPOSED PLUMBING PIPES, ELECTRICAL CONDUITS, BOXES, COPPER TUBING, ETC. SHALL BE PAINTED TO MATCH ADJACENT SURFACES, U.N.O.
23. AS ARCHITECT OF RECORD, THE ARCHITECT RETAINS THE RIGHT TO MAKE FINAL JUDGMENTS RELATIVE TO MODIFICATIONS OF THE SUBMITTAL DRAWINGS TO ENSURE COMPLIANCE OF THE CONTRACT DOCUMENTS WITH STANDARD ENGINEERING PRACTICE, APPLICABLE CODES, AND ARCHITECTURAL INTENT.
24. ALL WORK SHALL CONFORM TO TITLE 19 AND 24, CALIFORNIA CODE OF REGULATIONS (COR).
25. CHANGES TO THE APPROVED DRAWINGS AND SPECIFICATIONS SHALL BE MADE BY AN ADDENDA OR DIRECTIVE, APPROVED ARCHITECT.
26. WHEN A REFERENCE IS MADE, BEGINNING WITH THE PHRASE "SEE..." OR "REFER TO...", THE CONTRACTOR SHALL PERFORM ADDITIONAL WORK AS OUTLINED IN THE REFERENCED LOCATION, AS NOTED THERE, IN ADDITION TO THE WORK NOTED IN THE ORIGINAL LOCATION.
27. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY AND ALL DEFECTS FOUND IN THE BUILDING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, UNEVEN WALL AND FLOOR SURFACES AND FINISHES AT PLASTER OR DRYWALL. THE GENERAL CONTRACTOR SHALL PATCH AND REPAIR SURFACES AS REQUIRED TO MATCH ADJACENT SURFACES.
28. THE CONTRACTOR SHALL INFORM THE ARCHITECT OF ANY CONFLICTS PRIOR TO PROCEEDING WITH CONSTRUCTION THAT EXIST IN LOCATIONS OF MECHANICAL, TELEPHONE, ELECTRICAL, LIGHTING, AND PLUMBING EQUIPMENT (TO INCLUDE ALL PIPING, DUCT WORK AND CONDUIT) AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ABOVE DESCRIBED EQUIPMENT HAS BEEN PROVIDED.
29. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING, FITTING OR PATCHING THAT MAY BE REQUIRED TO COMPLETE THE WORK OR TO MAKE ITS SEVERAL PARTS FIT TOGETHER PROPERLY.
30. THE DISTRICT PROJECT MANAGER SHALL BE INFORMED OF CONSTRUCTION SCHEDULES, MATERIAL DELIVERIES ON A WEEKLY BASIS AND NOTIFIED IMMEDIATELY OF ANY PROPOSED CHANGES.
31. UNLESS SHOWN OTHERWISE, ALL DAMAGE CAUSED BY THE WORK TO EXISTING AREAS OF THE SITE CONSTRUCTION, FINISH CONSTRUCTION, ELECTRICAL OR MECHANICAL SYSTEMS SHALL BE PATCHED TO MATCH EXISTING CONDITIONS OR AS FOUND, PRIOR TO ANY DAMAGE.
32. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE STRUCTURE AT THE WORK AREA FROM WEATHER AND OTHER INLEMENT CONDITIONS. ANY DAMAGE INCURRED DUE TO FAILURE BY THE CONTRACTOR TO PROPERLY PROTECT SUCH WORK SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE.
33. THE CONTRACTOR SHALL DISPOSE OF ALL REMOVED AND / OR DEMOLISHED MATERIAL, WASTE AND DEBRIS CAUSED BY THE WORK. THIS MATERIAL SHALL BE REMOVED FROM THE SCHOOL PROPERTY AND TAKEN TO A LEGALLY OPERATED DISPOSAL SITE. COST OF ALL DISPOSAL FEES SHALL BE PAID FOR BY THIS CONTRACTOR.
34. UTILITIES FOR CONSTRUCTION SHALL BE PROVIDED BY THE DISTRICT (REASONABLE AMOUNT). EXCEPT FOR TELECOMMUNICATION, WHICH SHALL BE PROVIDED BY THE CONTRACTOR WHO IS RESPONSIBLE FOR ALL ASSOCIATED COSTS. CONTRACTORS IS TO PROVIDE AND PAY FOR THE UTILITY SERVICES FOR ITS CONSTRUCTION TRAILER, UNLESS DIRECTED OTHERWISE BY THE DISTRICT.
35. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SECURING HIS EQUIPMENT, MATERIALS, SUPPLIES, TOOLS, ETC.
36. ANY CONDITION NOT COVERED BY THESE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY BY THE CONTRACTOR OR INSPECTOR, PRIOR TO BIDDING.
37. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ALL MATERIALS TO THE ARCHITECT FOR REVIEW, PRIOR TO FABRICATION OR INSTALLATION.
38. WHEN CONTRACTOR HAS BEEN AWARDED THE CONTRACT, IT IS HIS RESPONSIBILITY TO SECURE THE AREAS SO NO UNAUTHORIZED PERSONNEL OR STUDENTS GAIN ACCESS TO THE PROJECT AREA OR THE CONTRACTOR'S STAGING AREA.
39. THE CONTRACTOR SHALL PROVIDE TEMPORARY 6 FEET HIGH CHAIN LINK FENCING TO PROTECT THE WORK AREA. ANY DAMAGE INCURRED DUE TO FAILURE BY THE CONTRACTOR TO PROPERLY PROTECT SUCH WORK, SHALL BE REPAIRED AT CONTRACTORS EXPENSE.
40. THE CONTRACTOR SHALL COOPERATE WITH THE OWNER TO THE FULLEST EXTENT IN PROVIDING TRAFFIC CONTROL DURING COURSE OF CONSTRUCTION SO AS TO PROVIDE A MAXIMUM PROTECTION FOR STUDENTS AND DISTRICT PERSONNEL. ALL EMPLOYEES ON THE PROJECT WORK SHALL PARK THEIR PRIVATE VEHICLES IN THE AREA DESIGNATED BY THE DISTRICT.
41. THE CONTRACTOR SHALL EXERCISE MAXIMUM DUST AND NOISE CONTROL EFFORTS TO KEEP AT A MINIMUM THE NUISANCE OF DUST AND CONSTRUCTION NOISE FROM THE CONSTRUCTION.
42. THE DISTRICT SHALL BE NOTIFIED, IN ADVANCE, OF TIMES OF EQUIPMENT OR MATERIALS DELIVERY IN ORDER TO AVOID INTERFERENCE WITH THE NORMAL ACTIVITY ON THE SCHOOL PREMISES.
43. WORKERS ARE ONLY ALLOWED IN AREAS THAT ARE ONLY APPROPRIATE TO THE REQUIRED WORK AND SHALL MAKE EVERY EFFORT NOT TO DISTURB STUDENTS, FACULTY OR DISTRICT PERSONNEL.
44. ALL WORKERS SHALL WEAR APPROPRIATE SAFETY GEAR AND COMPLY WITH APPLICABLE SAFETY REGULATIONS.
45. DRESS AND BEHAVIOR OF ALL CONSTRUCTION WORKERS SHALL BE APPROPRIATE TO A SCHOOL SITE AND BE ACCEPTABLE TO DISTRICT REPRESENTATIVES.
46. SMOKING IS NOT ALLOWED ON SCHOOL CAMPUS DURING THE ENTIRE CONSTRUCTION PERIOD.
47. THERE SHALL BE NO POSSESSION OR CONSUMPTION OF DRUGS OR ALCOHOLIC BEVERAGES ON THE JOB SITE BY ANY PERSON. ANY PERSON THAT DOES NOT COMPLY WITH THESE REQUIREMENTS SHALL BE DIRECTED TO LEAVE THE JOB SITE AND WILL NOT BE PERMITTED TO RETURN DURING THE REMAINDER OF THE CONTRACT.
48. THE CONTRACTOR SHALL PROVIDE WHATEVER MEANS NECESSARY TO ASSURE PROTECTION OF STUDENTS, FACULTY AND DISTRICT PERSONNEL DURING THE COURSE OF CONSTRUCTION OPERATIONS.
49. THE CONTRACTOR SHALL NOTIFY DISTRICT PERSONNEL FOR ACCESS TO THE JOB SITE AND LOCATIONS FOR STORAGE OF MATERIALS. ANY FENCING REMOVED FOR ACCESS TO THE SITE SHALL BE REINSTALLED AND / OR REPAIRED TO ORIGINAL EXISTING CONDITIONS.

TYPICAL DEMOLITION NOTES

- 1. DEMOLITION WORK SHOWN ON THE CONSTRUCTION DOCUMENTS IS DIAGRAMMATIC. ALL CONDITIONS MAY NOT BE SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REMOVE ALL ITEMS THAT WILL INTERFERE WITH THE CONSTRUCTION.
2. CONTRACTOR SHALL DISPOSE OF ALL CONSTRUCTION DEBRIS, WASTE AND BUILDING MATERIALS TO A LEGAL DISPOSAL SITE. COST OF DISPOSAL SHALL BE PAID FOR BY THIS CONTRACTOR.
3. REFER TO GENERAL NOTES THIS SHEET FOR ADDITIONAL TYPICAL INFORMATION.
4. ITEMS WHICH ARE SHOWN TO BE REMOVED MAY HAVE BEEN REMOVED PRIOR TO THE START OF CONSTRUCTION. WHERE THIS OCCURS, CONTRACTOR SHALL PROVIDE CREDIT TO THE DISTRICT FOR THE REMOVAL COST OF SUCH ITEMS.
5. IF ANY UNKNOWN ASBESTOS AND OR LEAD PAINT CONTAINING MATERIALS ARE ENCOUNTERED DURING DEMOLITION AND OR CONSTRUCTION, THE SCHOOL DISTRICT SHALL BE NOTIFIED IMMEDIATELY AND WORK SHALL BE SUSPENDED AT THOSE AREAS UNTIL THE DISTRICT PROVIDES THE CONTRACTOR WRITTEN NOTICE TO PROCEED. ASBESTOS AND LEAD PAINT ABATEMENT IS UNDER THIS CONTRACT, SEE DISTRICT ABATEMENT REPORT PREPARED BY DISTRICT CONSULTANT. ASBESTOS AND LEAD PAINT ABATEMENT IS NOT THE RESPONSIBILITY OF THIS ARCHITECT.
6. THE CONTRACTOR SHALL PROVIDE A SECURED STAGING AREA (THE LOCATION OF WHICH SHALL BE APPROVED BY THE DISTRICT), CONTRACTOR SHALL RESTORE THE STAGING AREA TO ORIGINAL CONDITION UPON COMPLETION OF THE PROJECT.
7. ANY DAMAGE TO THE EXISTING SITE UTILITIES / BUILDING FINISHES / COVERED WALKWAYS / CONDUITS AND PIPING DURING THE CONSTRUCTION OF THE BUILDING OR SITE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
8. IF DURING DEMOLITION, AND OR CONSTRUCTION, CONDUITS, PIPING, CABLES, AND/OR TELEPHONE WIRES ARE ENCOUNTERED, THEY SHALL PROTECT AS REQUIRED TO OBTAIN THE DESIRED END PRODUCT AT NO ADDITIONAL COST TO THE DISTRICT. ITEMS THAT HAVE AN IMPACT ON THE AESTHETIC VALUE OF THE STRUCTURE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR DIRECTION AND COURSE OF ACTION TO FOLLOW.
9. THE DISTRICT HAS THE FIRST RIGHT TO KEEP WHATEVER MATERIALS ARE TO BE DEMOLISHED. CONTRACTOR SHALL COORDINATE DEMOLITION WITH THE DISTRICT.
10. ALL DEMOLITION, RE-INSTALLATION AND RE-CONSTRUCTION WORK IS BY THE CONTRACTOR, UNLESS OTHERWISE NOTED.
11. REFER TO CONTRACT DOCUMENTS (PLANS AND SPECIFICATIONS) FOR THE COMPLETE SCOPE OF WORK, IN ADDITION TO WHAT IS MENTIONED AND SPECIFIED HERE.
12. DURING DEMOLITION AND OR INSTALLATION OF UTILITY LINES (WATER, ELECTRICAL, ETC.), IT IS THE CONTRACTOR'S RESPONSIBILITY TO ALTER AND OR RELOCATE THESE LINES SO THAT ALL UTILITIES CAN BE INSTALLED AND FUNCTION PROPERLY.
13. REMOVE EXISTING FASCIAS, FLASHING, GUTTERS, ETC. AS REQUIRED FOR BUILDING AND PAVING.
14. COMPLY WITH CFC, CHAPTER 33 FOR FIRE SAFETY DURING DEMOLITION AND CONSTRUCTION.

Table with 4 columns: NO., DATE, REVISION, BY. Contains revision tracking information.

DATE: 03/11/22
JOB NO.: 180104
DESIGNED BY: KC
DRAWN BY: KC
CHECKED BY: JP

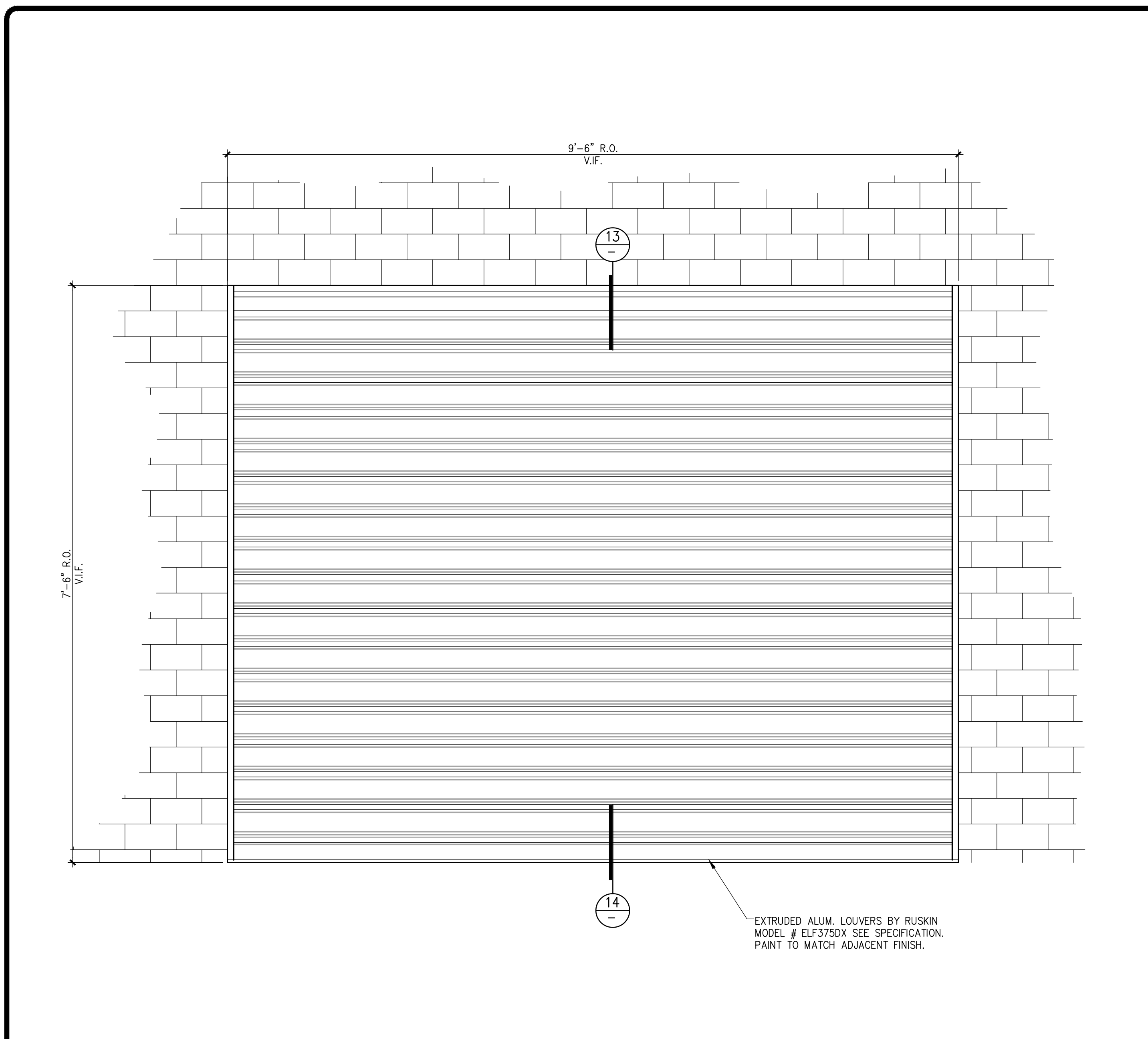
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DEMOLITION AND GENERAL NOTES
DISTRICT WIDE PAINTING PROJECT
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LITTLE LAKE CITY SCHOOL DISTRICT
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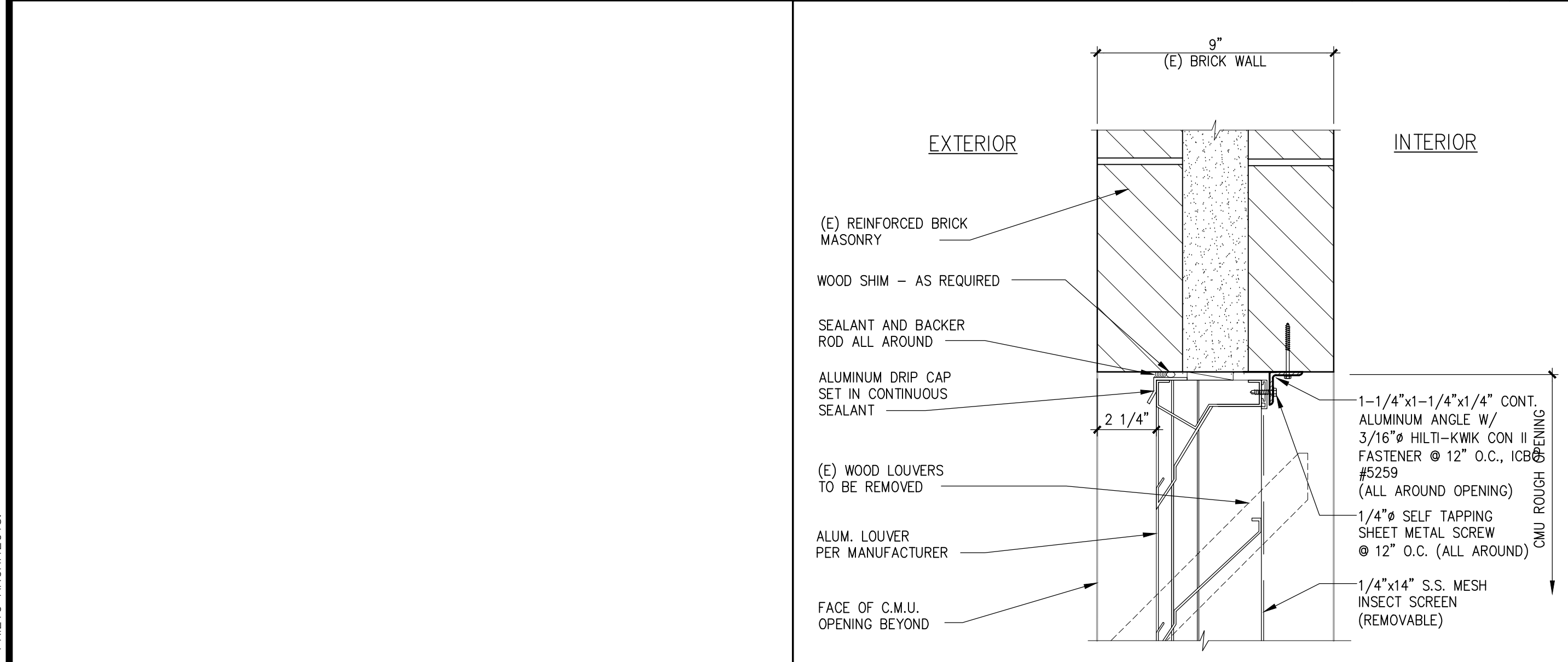
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C-33216
RENEWAL DATE
NOV 30, 2023
STATE OF CALIFORNIA

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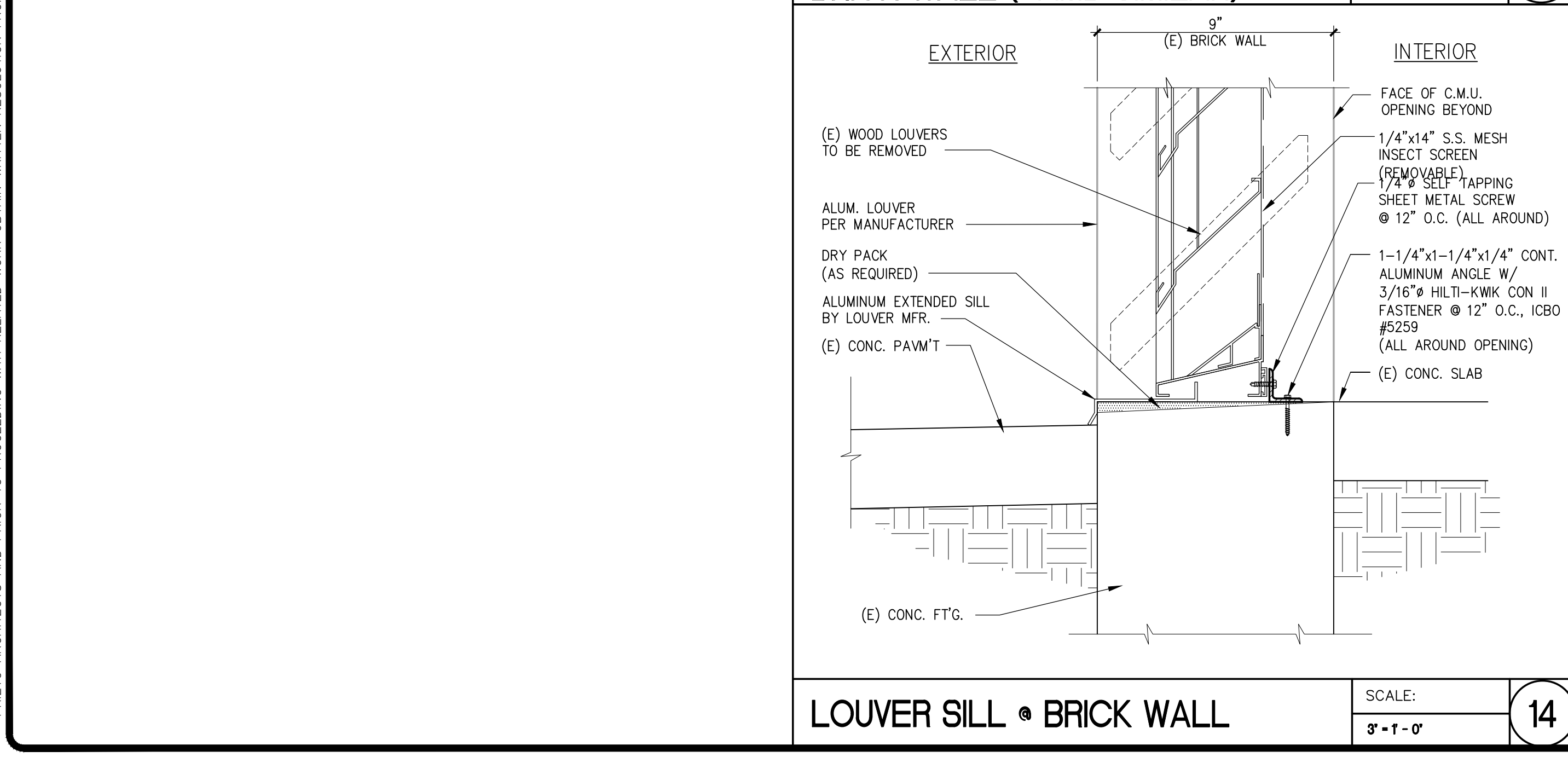
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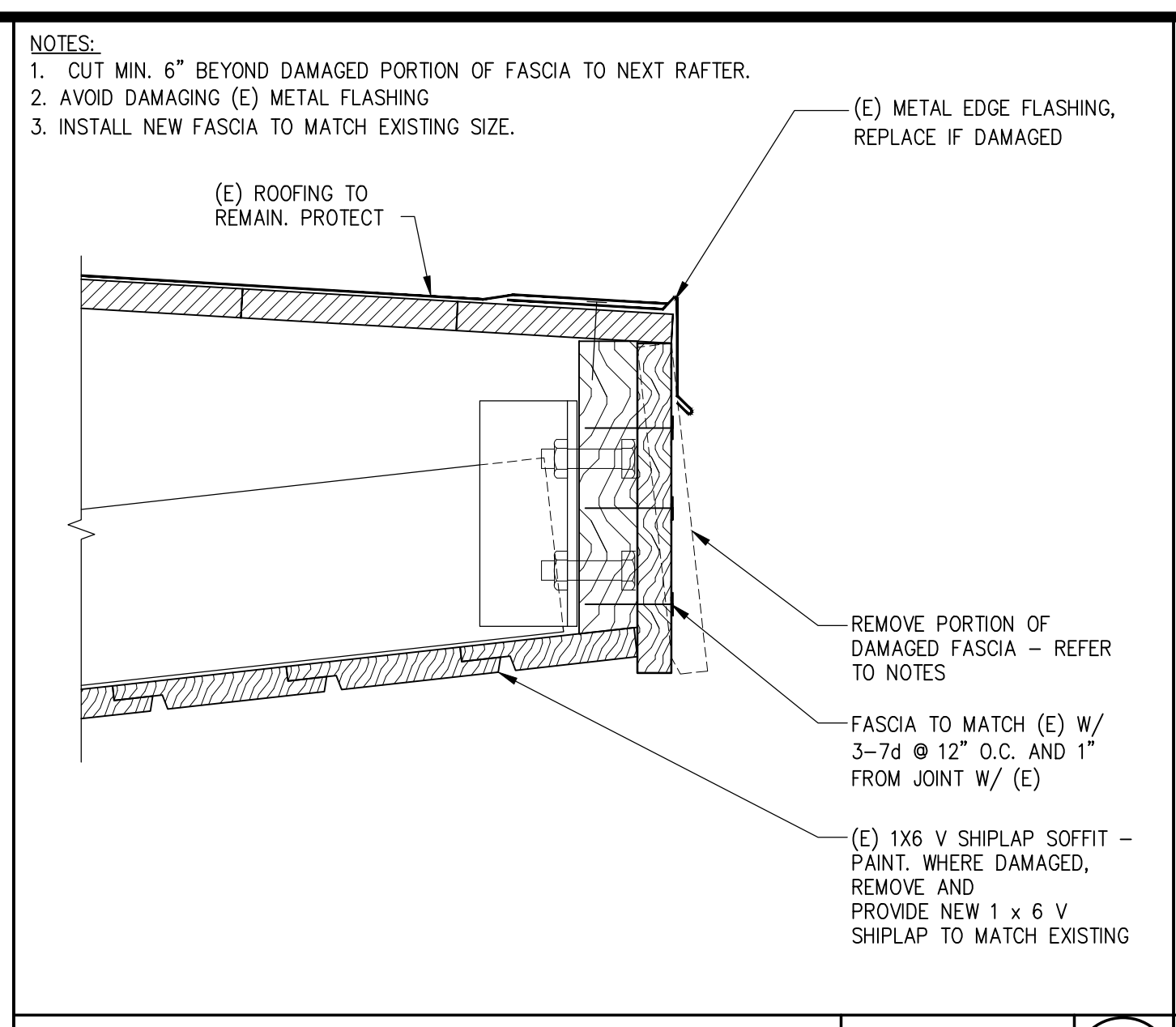
MECHANICAL LOUVER - ELEVATION SCALE: 3/4" = 1'-0" 12



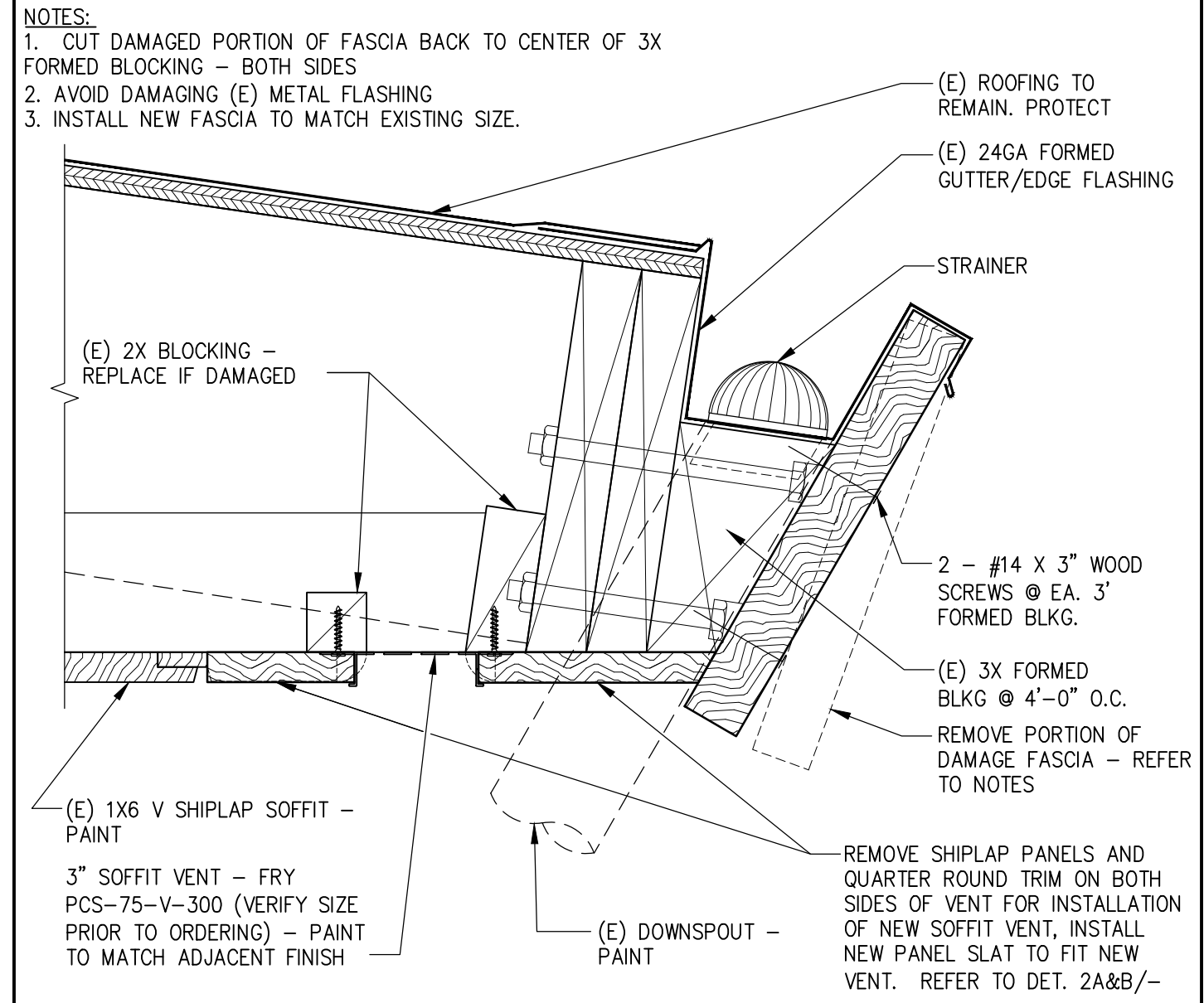
LOUVER HEADER • BRICK WALL (JAMB SIMILAR) SCALE: 3/4" = 1'-0" 13



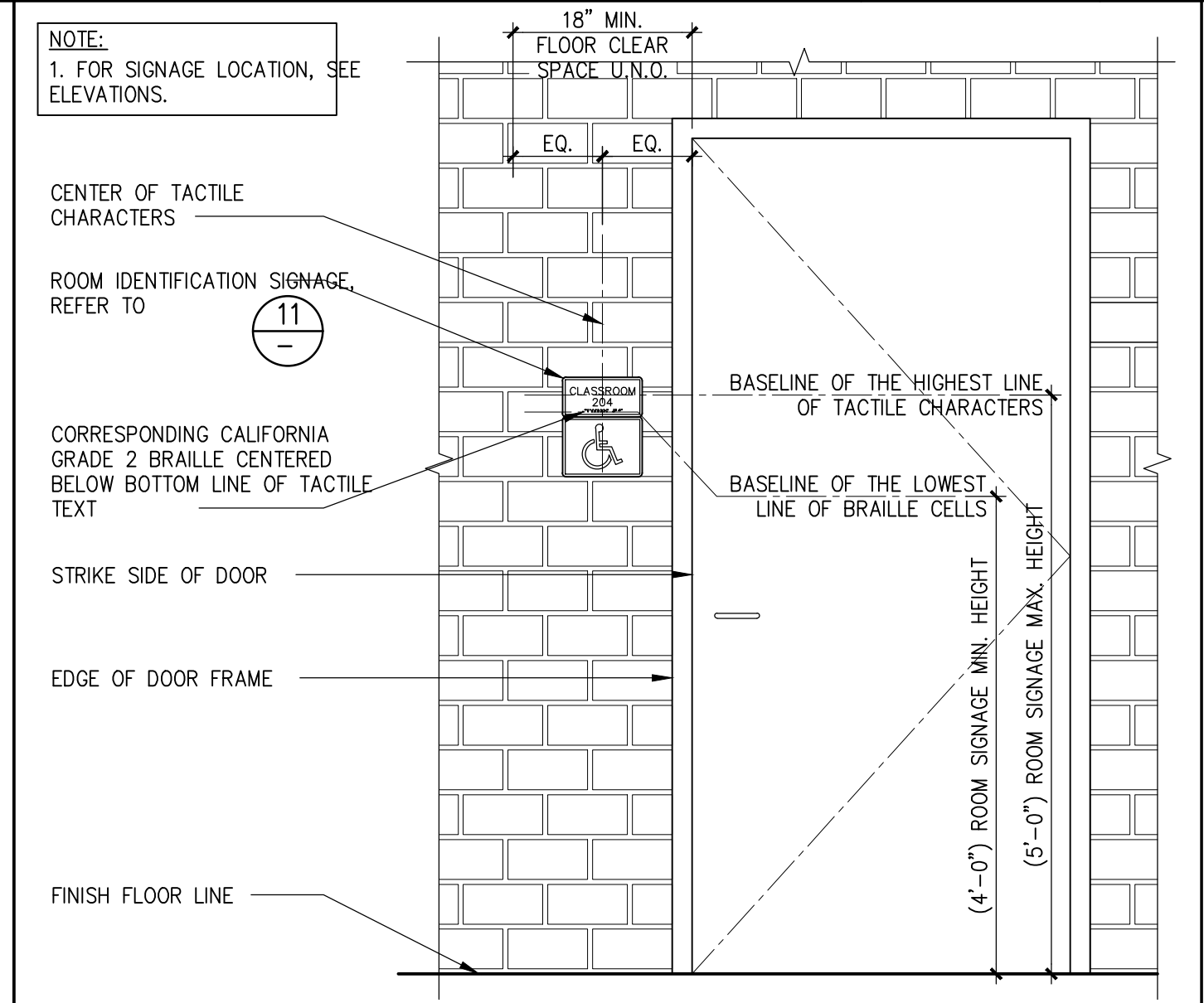
LOUVER SILL • BRICK WALL SCALE: 3/4" = 1'-0" 14



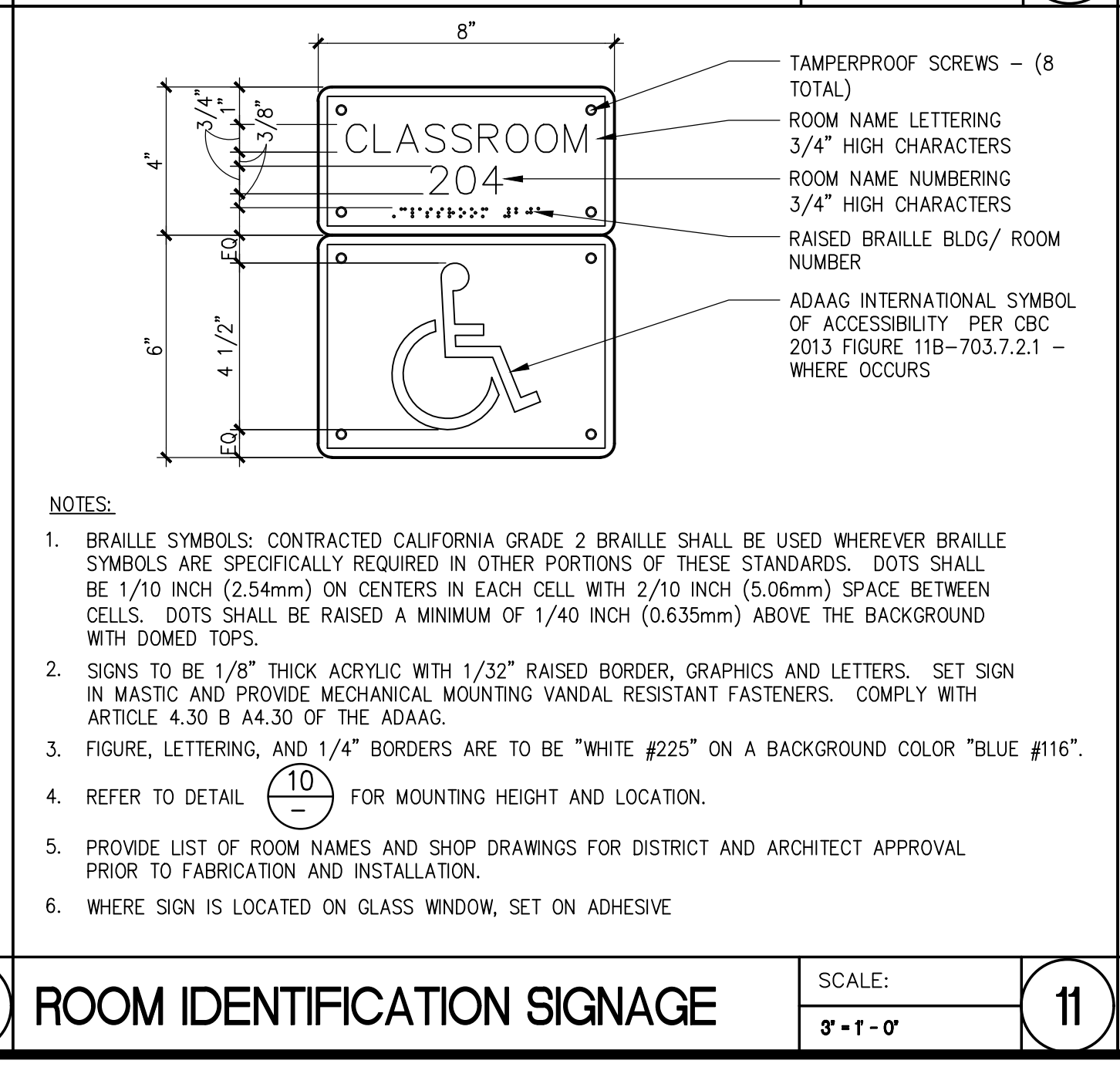
REMOVE WOOD FASCIA, TYPICAL SCALE: 3/4" = 1'-0" 8



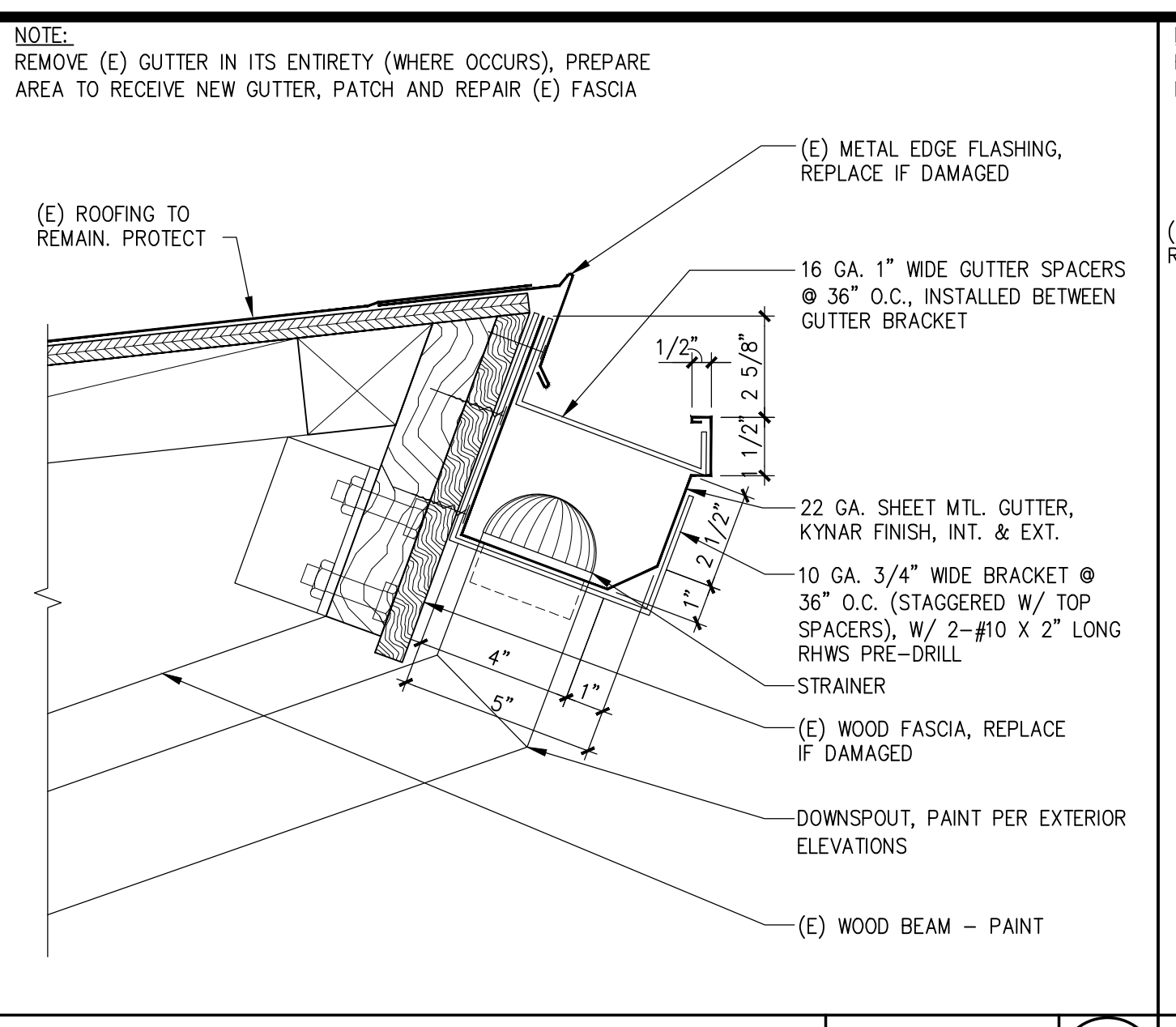
REMOVE WOOD FASCIA, TYPICAL SCALE: 3/4" = 1'-0" 9



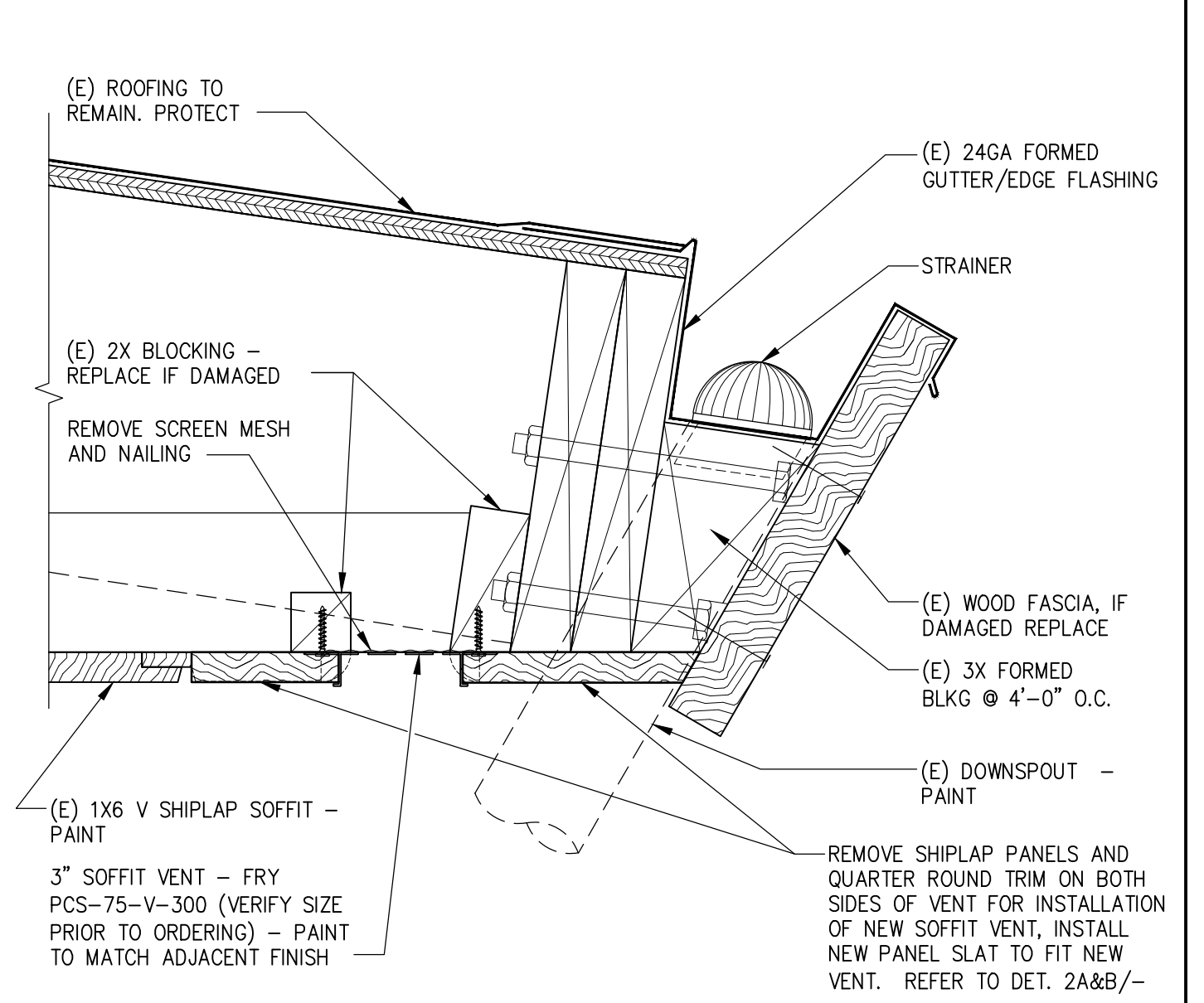
ELEVATION OF ROOM NAME AND NUMBER SIGNAGE SCALE: 3/4" = 1'-0" 10



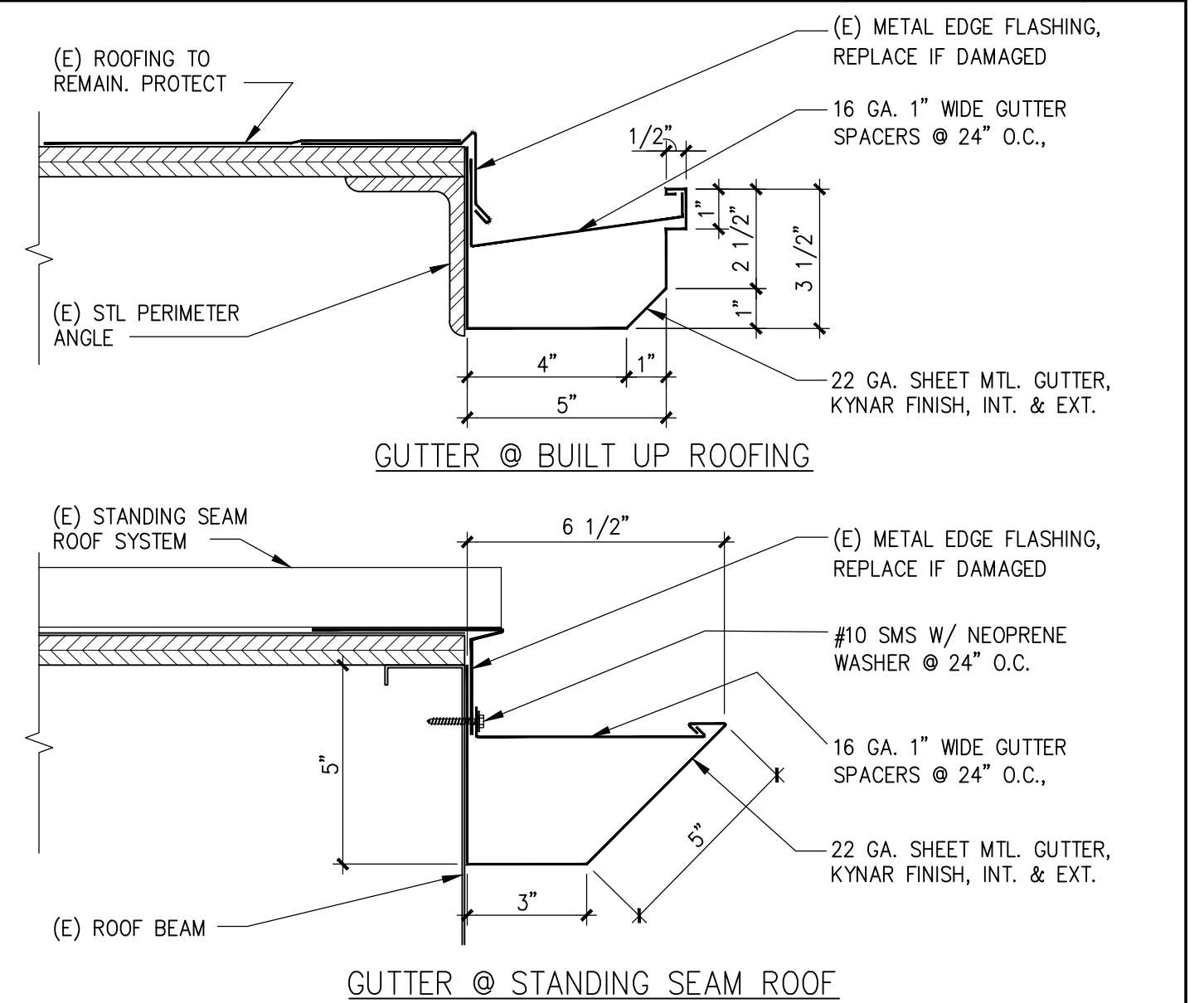
ROOM IDENTIFICATION SIGNAGE SCALE: 3/4" = 1'-0" 11



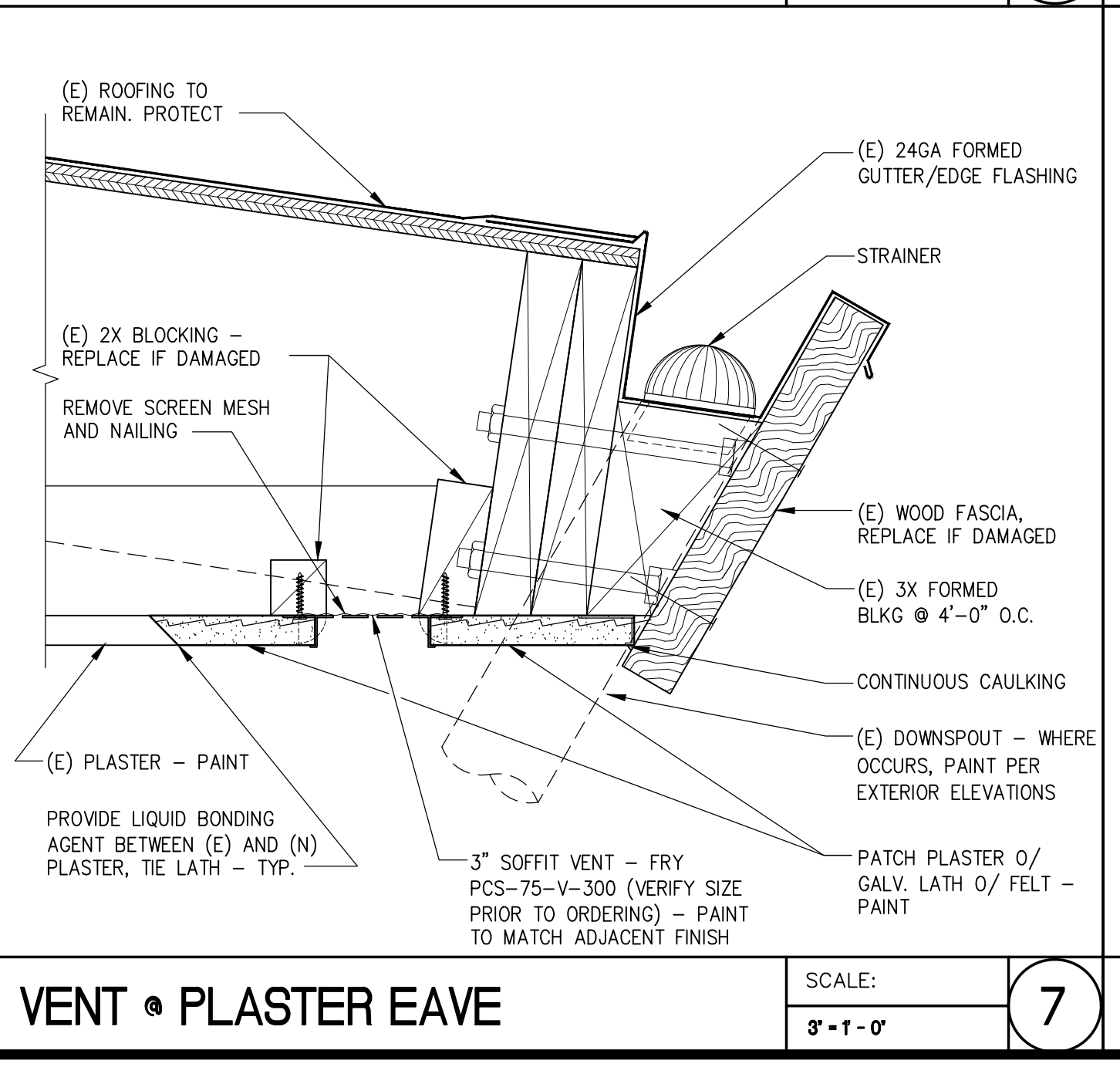
GUTTER • EAVE SCALE: 3/4" = 1'-0" 4



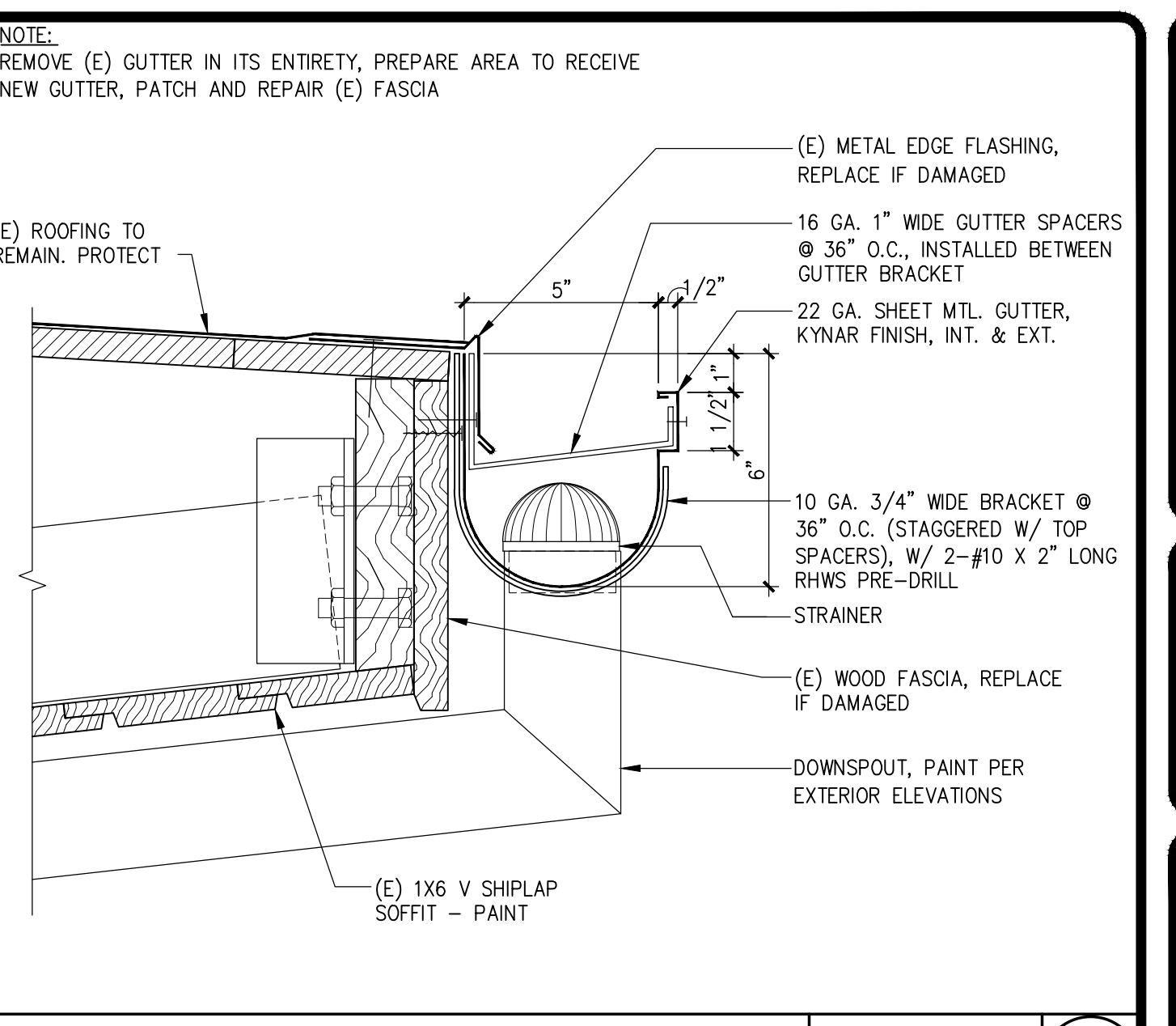
GUTTER • EAVE SCALE: 3/4" = 1'-0" 5



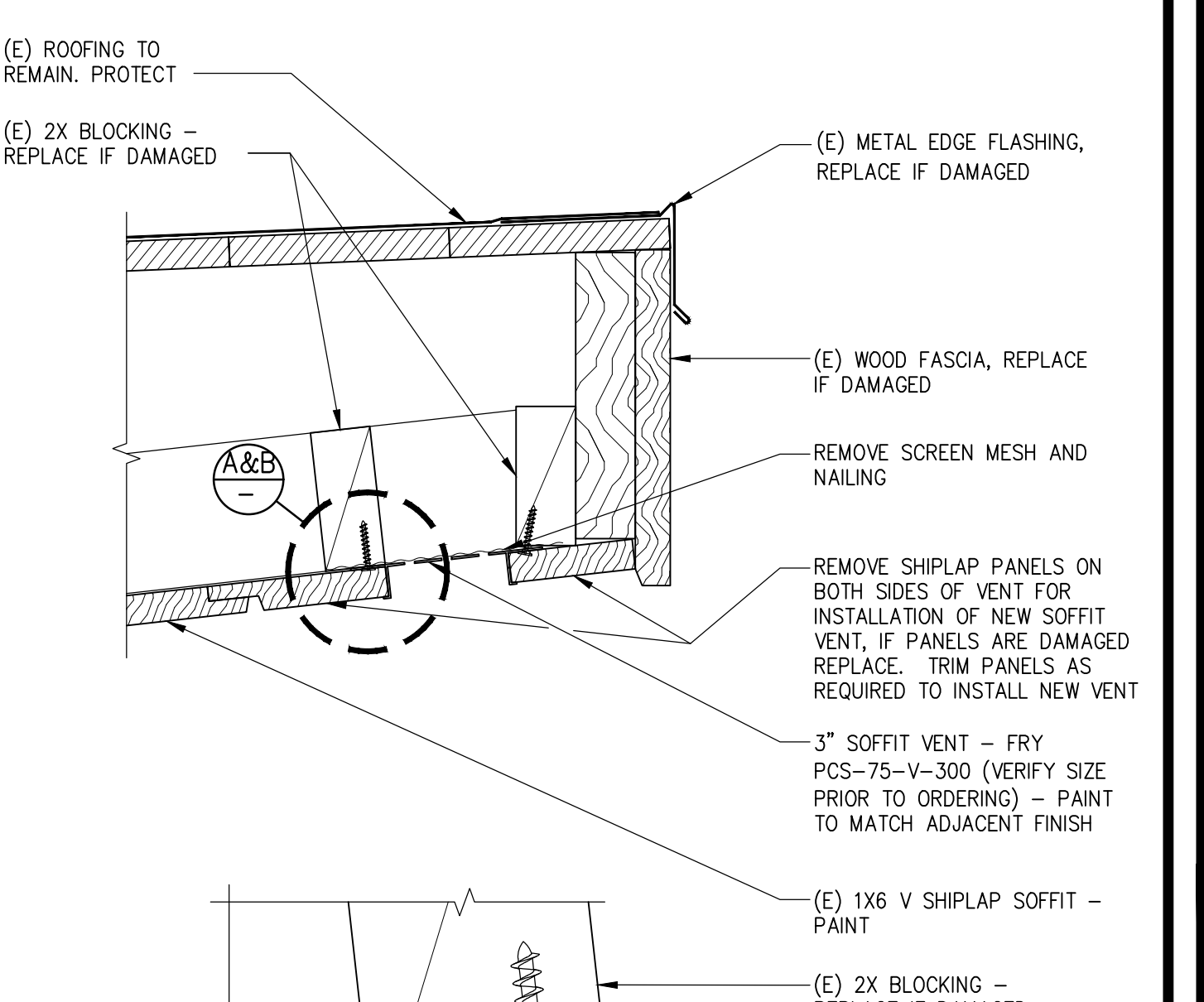
GUTTER AT PORTABLES SCALE: 3/4" = 1'-0" 6



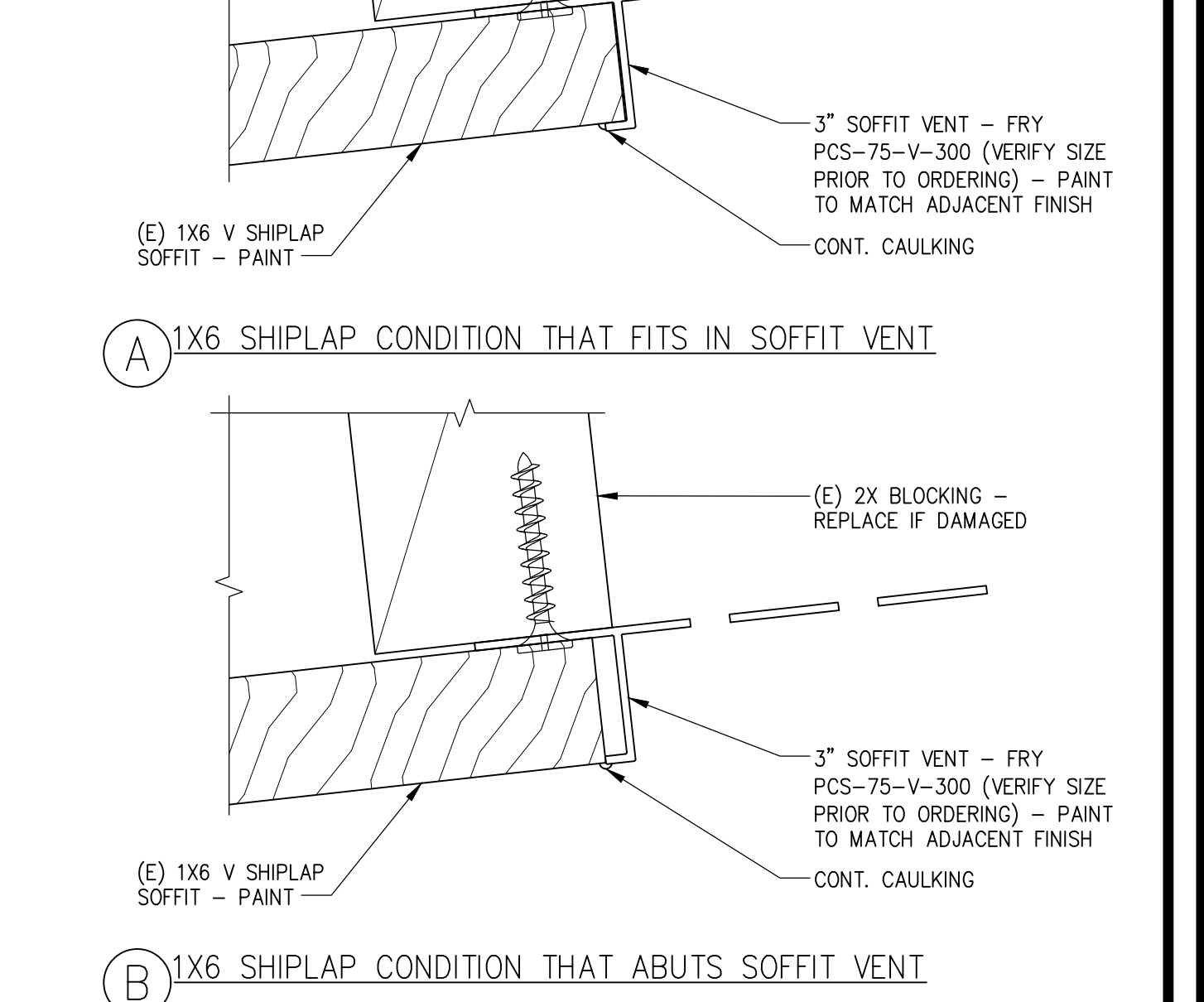
VENT • PLASTER EAVE SCALE: 3/4" = 1'-0" 7



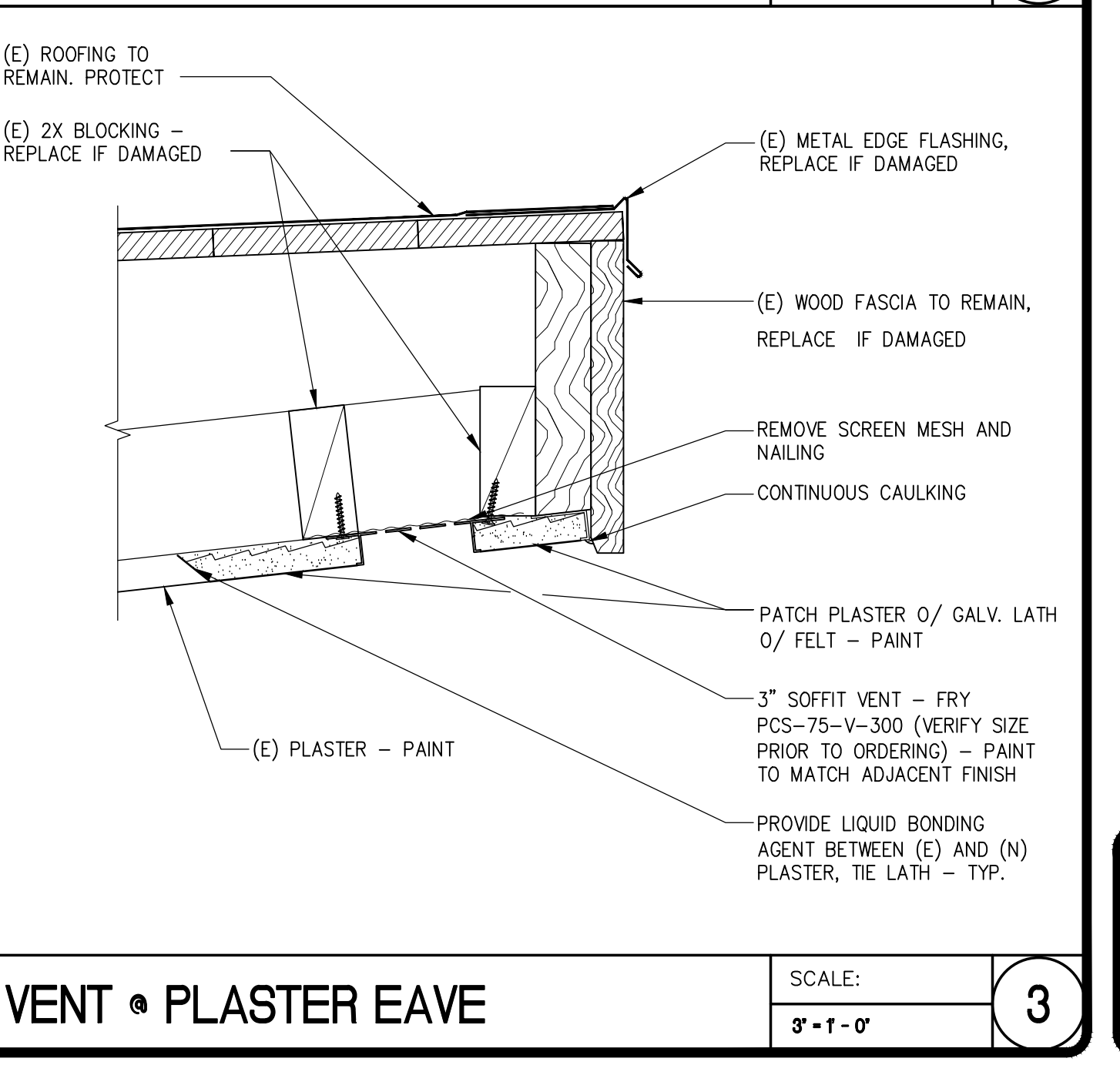
GUTTER • EAVE SCALE: 3/4" = 1'-0" 1



GUTTER • EAVE SCALE: 3/4" = 1'-0" 2



VENT • WOOD EAVE SCALE: 3/4" = 1'-0" 3



VENT • PLASTER EAVE SCALE: 3/4" = 1'-0" 4

DATE: 03/11/22	JOB NO.: 180104	DESIGNED BY: KC	DRAWN BY: KC	CHECKED BY: JP

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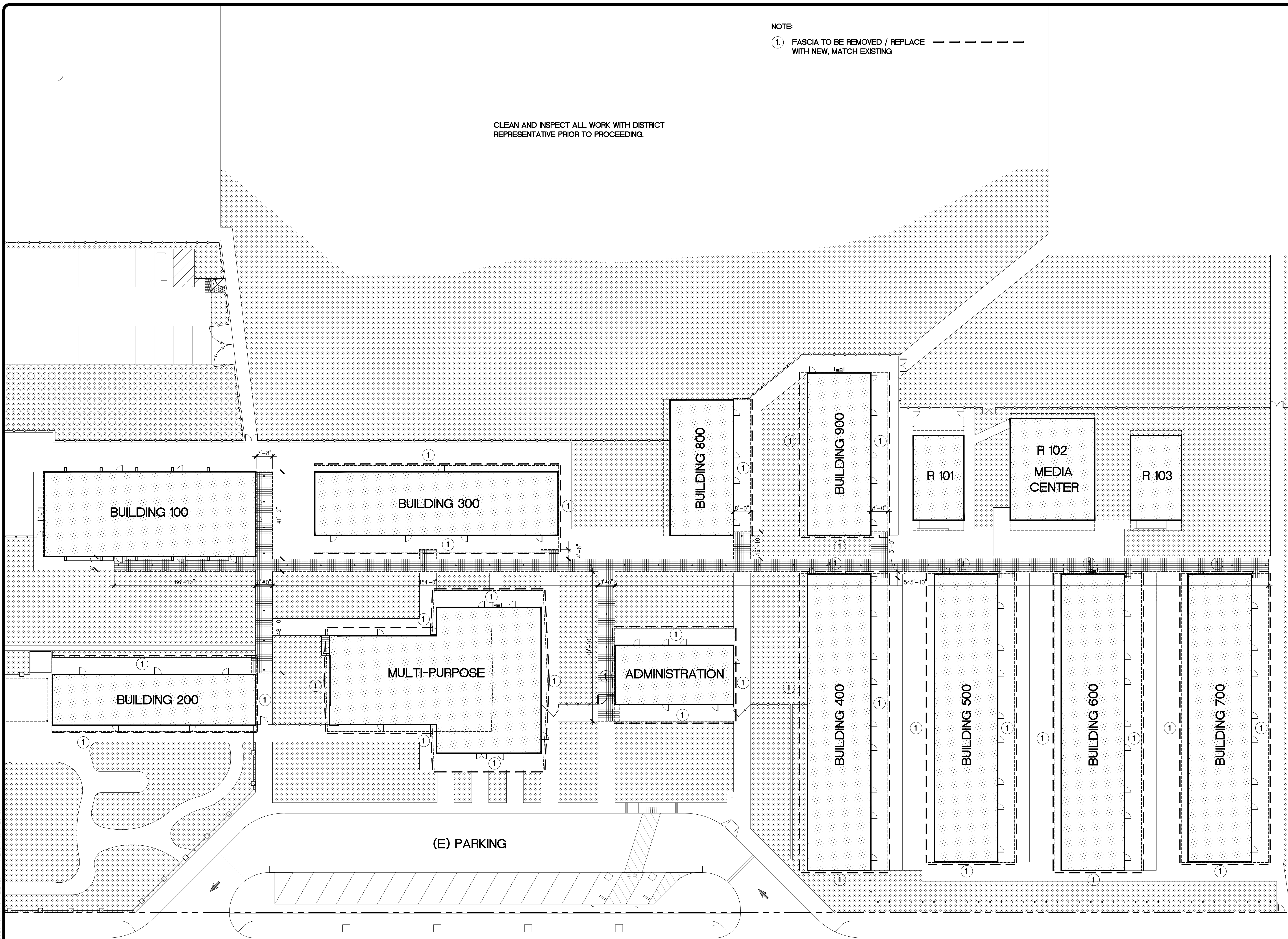
LICENSED ARCHITECT
 C-33216
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 STATE OF CALIFORNIA

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NOTE:
 ① FASCIA TO BE REMOVED / REPLACE WITH NEW, MATCH EXISTING

CLEAN AND INSPECT ALL WORK WITH DISTRICT REPRESENTATIVE PRIOR TO PROCEEDING.



CONSTRUCTION KEYED NOTES

- REFER TO SHEETS A4.0-E THROUGH A5.0-E FOR CONSTRUCTION KEYNOTES
1. SCRAPER / LEVEL SURFACE FOR PAINT WITH PLASTER PATCH/STUCCO PATCH AS REQUIRED.
 2. VERIFY WITH DISTRICT FOR BRICK REPAIRS.

REPAIR KEYED NOTES

1. AREA OF DAMAGED / CRACKED PLASTER. REPAIR AND PATCH WITH NEW PLASTER TO MATCH (E).
2. BRICK INFILL OR DISCOLORED BRICK. LIGHTLY VAPORBLAST ENTIRE BRICK WALL SURFACE. COAT WITH ANTI-GRAFFITI COATING. INSPECT ALL BRICK WORK PRIOR TO PROCEEDING.
3. DAMAGED / CRACKED BRICK / CONCRETE. REPLACE OR PATCH TO MATCH (E).
4. EXPOSED CONCRETE LINTEL. REPAIR CRACKS IF ANY. PAINT TO MATCH ADJACENT BRICK COLOR.
5. DAMAGED WOOD PANELING. REMOVE AND REPLACE WITH NEW WOOD PANELING.
6. CRACKED / DAMAGED WINDOW PANE. REMOVE AND REPLACE WITH NEW GLASS TO MATCH EXISTING.
7. DAMAGED WOOD FASCIA. REMOVE AND REPLACE WITH NEW WOOD FASCIA TO MATCH EXISTING. REPLACE METAL DRIP EDGE AS REQUIRED WHERE DAMAGED. DETAIL / T3.0
8. DAMAGED METAL FLASHING / COPING. REMOVE AND REPLACE WITH NEW FLASHING / COPING TO MATCH EXISTING.
9. DAMAGED METAL GUTTER. REMOVE AND REPLACE AS NEEDED WITH NEW METAL GUTTER. DETAIL / T3.0 PATCH WHERE GUTTER WAS REPLACED AND PATCH ROOFING AS NEEDED.
10. DAMAGED DOWNSPOUT. REMOVE AND REPLACE AS NEEDED WITH NEW DOWNSPOUT TO MATCH (E).
11. DOWNSPOUT. PROVIDE MISSING / DAMAGED CONNECTION FROM GUTTER TO DOWNSPOUT. SEE DETAIL 1/T3.0
12. DAMAGED VENT REMOVE AND REPLACE WITH NEW TO MATCH (E). FOR SOFFIT VENT, REMOVE PORTION OF ADJACENT PLASTER OR WOOD AS REQUIRED AND PROVIDE NEW PLASTER/ WOOD WHERE REMOVED. SEE DETAIL T3.0.
13. DAMAGED WOOD SKIRTING REMOVE AND REPLACE WITH NEW SKIRTING AS NEEDED TO MATCH (E).
14. REMOVE AND REPLACE DAMAGED BACKPACK HANGER WOOD PLATE.
15. REMOVE (E) LOUVERED OPENING AND PROVIDE NEW. SEE DETAIL 13 & 14/T3.0.
16. SAW CUT UNFINISHED METAL POST ABOVE FINISH GRADE AND CAP THE OPENING. PROTECT THE CONCRETE AND WALL AROUND THE POST FROM ANY DAMAGE DURING REMOVAL.
17. SCHOOL ADHESIVE LOGO. REMOVE. DISTRICT TO REPLACE WITH NEW ADHESIVE LOGO / STICKER.
18. DAMAGED WOOD SIDING REMOVE AND REPLACE AS REQUIRED.
19. DAMAGED WOOD BEAM CEILING TO BE REMOVED AND REPLACED IN AREA INDICATED IN DRAWING.
20. ROOM SIGNAGE. REMOVE AND REPLACE WITH NEW SIGNAGE PER DISTRICT'S APPROVAL.
21. REMOVE WOOD LATTICE OVER LOUVERED OPENING.
22. HOLE IN BRICK MASONRY. FILL WITH COLORED GROUT TO MATCH BRICK.
23. DAMAGED ELECTRICAL BOX / SPEAKER TO BE REPLACED BY THE DISTRICT BEFORE PAINTING WORK BEGINS. REFER TO TYPE PAINTING AND CONSTRUCTION NOTES #5.
24. DAMAGED METAL FASCIA. REMOVE AND REPLACE WITH NEW METAL FASCIA TO MATCH EXISTING. REPLACE METAL DRIP EDGE AS REQUIRED WHERE DAMAGED.
25. WOOD PLANK / SKIRTING WITH LOOSE EDGE. NAIL/ FIX AS REQUIRED.

LEGEND

- BUILDINGS PROPOSED FOR EXTERIOR PAINTING AND PATCHING/REPAIR WORK
- COVERED WALKWAY -- REFER TO ① A4.0-E
- TURF/PLANTER AREA(S)
- PROPERTY LINE
- CHAINLINK FENCE/GATE

BUILDING / RELOCATABLE REFERENCES

BLDG. / RELOCATABLE #	SIZE (W X L) APPROXIMATE	REFERENCE
ADMINISTRATION	28' X 56'	A4.0 E
MPR	69' X 100'	A4.4 E
BUILDING 100	40' X 100'	A4.0 E
BUILDING 200	24' X 96'	A4.1 E
BUILDING 300	30' X 115'	A4.1 E
BUILDING 400	30' X 140'	A4.2 E
BUILDING 500	30' X 136'	A4.2 E
BUILDING 600	30' X 140'	A4.2 E
BUILDING 700	30' X 136'	A4.2 E
BUILDING 800	30' X 64'	A4.3 E
BUILDING 900	30' X 77'	A4.3 E
R-101	24' X 40'	A4.5 E
R-102 MEDIA CENTER	40' X 48'	A4.5 E
R-103	24' X 40'	A4.5 E

THIS DRAWINGS WERE PREPARED FROM THE DISTRICT (LLCS) RECORD DOCUMENTS. ZEMBA + PRIETO ARCHITECTS ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY. THESE DRAWINGS ARE CONCEPTUAL AND ARE PROVIDED FOR THE USE OF THE DISTRICT AND ITS CONSULTANTS. IT IS THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS, PRIOR TO BIDDING.

SITE PLAN

SCALE: 1" = 20'

①

NO.	DATE	REVISION	BY

DATE: 03/11/22
 JOB NO.: 180104
 DESIGNED BY: KC
 DRAWN BY: KA
 CHECKED BY: JP

ZIEMBA + PRIETO ARCHITECTS
 401 South Clemons Boulevard • Suite 400 • Burbank, CA 91502
 P: (818) 841-2865 • F: (818) 841-7782 • www.ziembaprietoarch.com

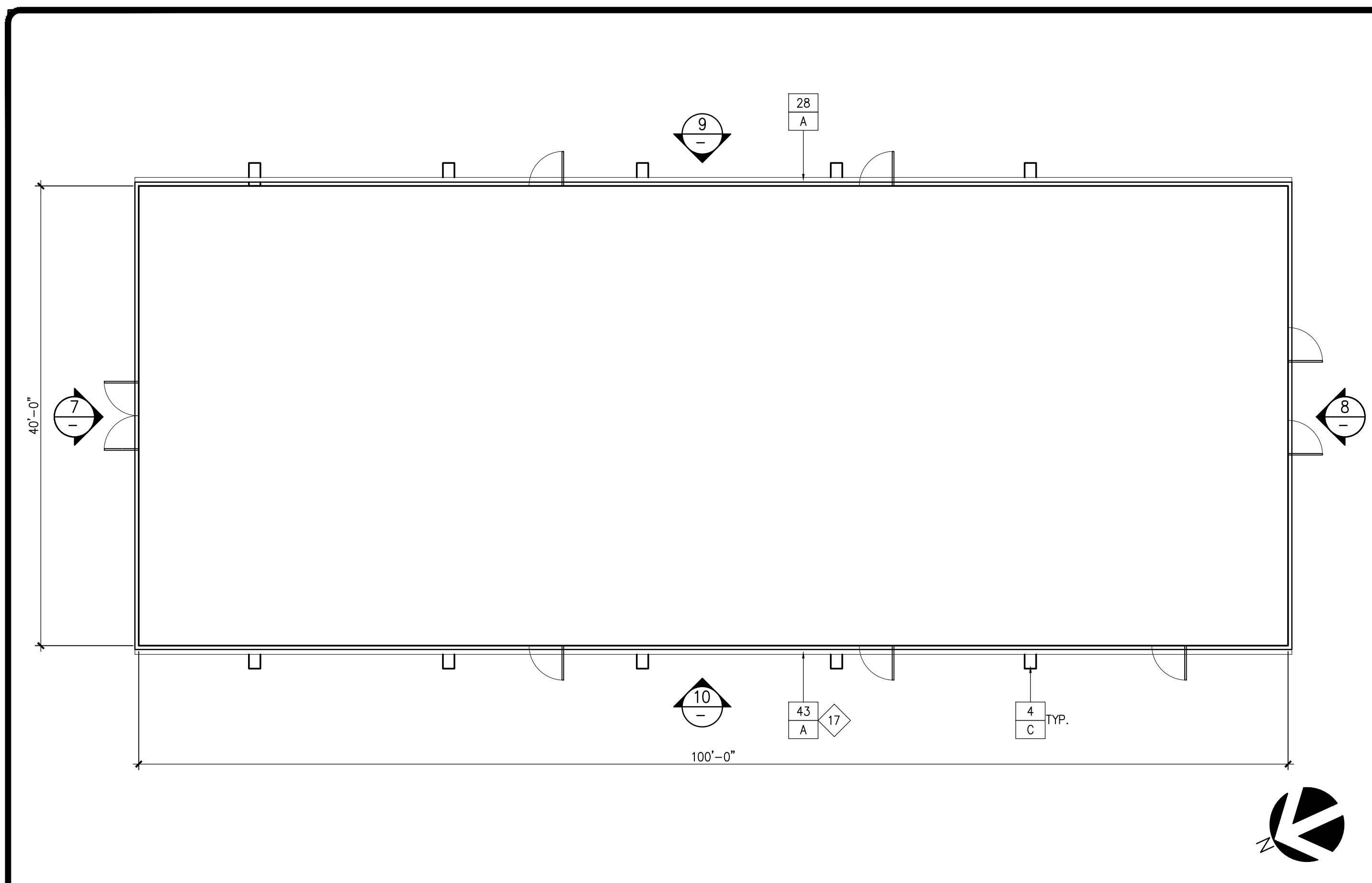
SITE PLAN - JERSEY ELEMENTARY SCHOOL

LITTLE LAKE CITY SCHOOL DISTRICT
 10515 S. PIONEER BLVD.
 SANTA FE SPRINGS, CA 90670

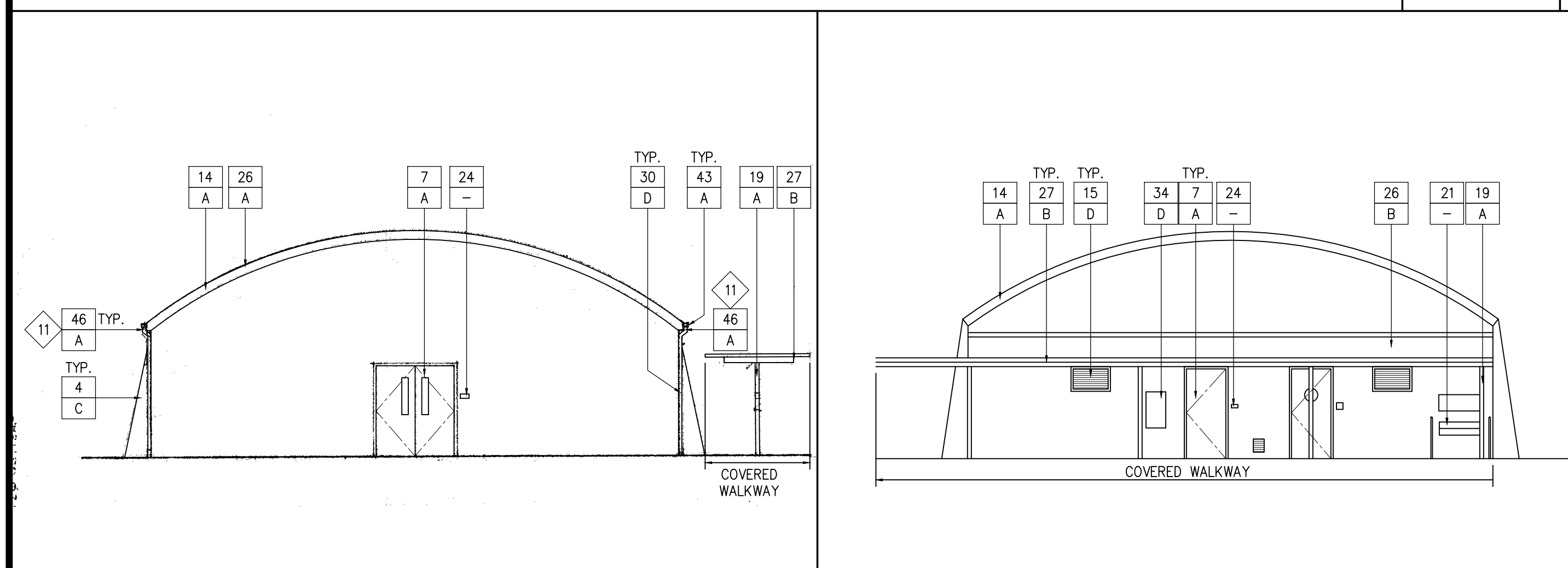
DISTRICT WIDE PAINTING PROJECT
 JERSEY AVENUE ELEMENTARY SCHOOL
 9400 JERSEY AVENUE,
 SANTA FE SPRINGS, CA 90670

SHEET NO.
AS1.0-E

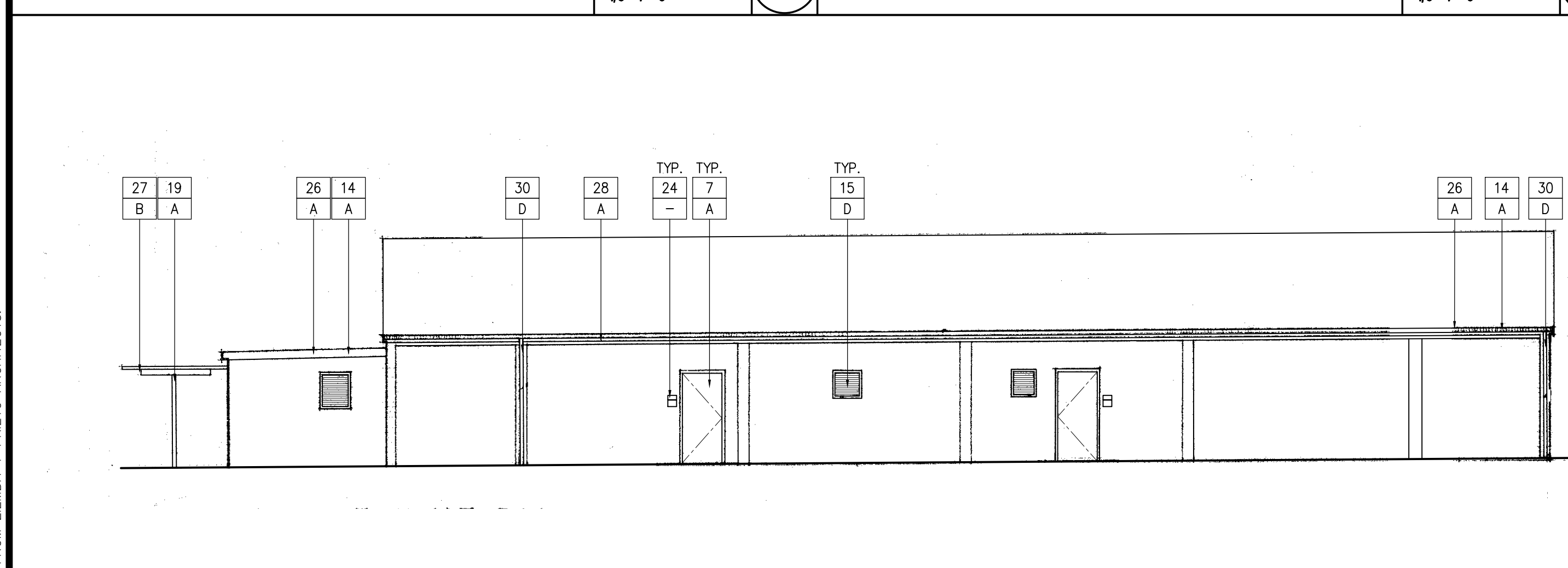
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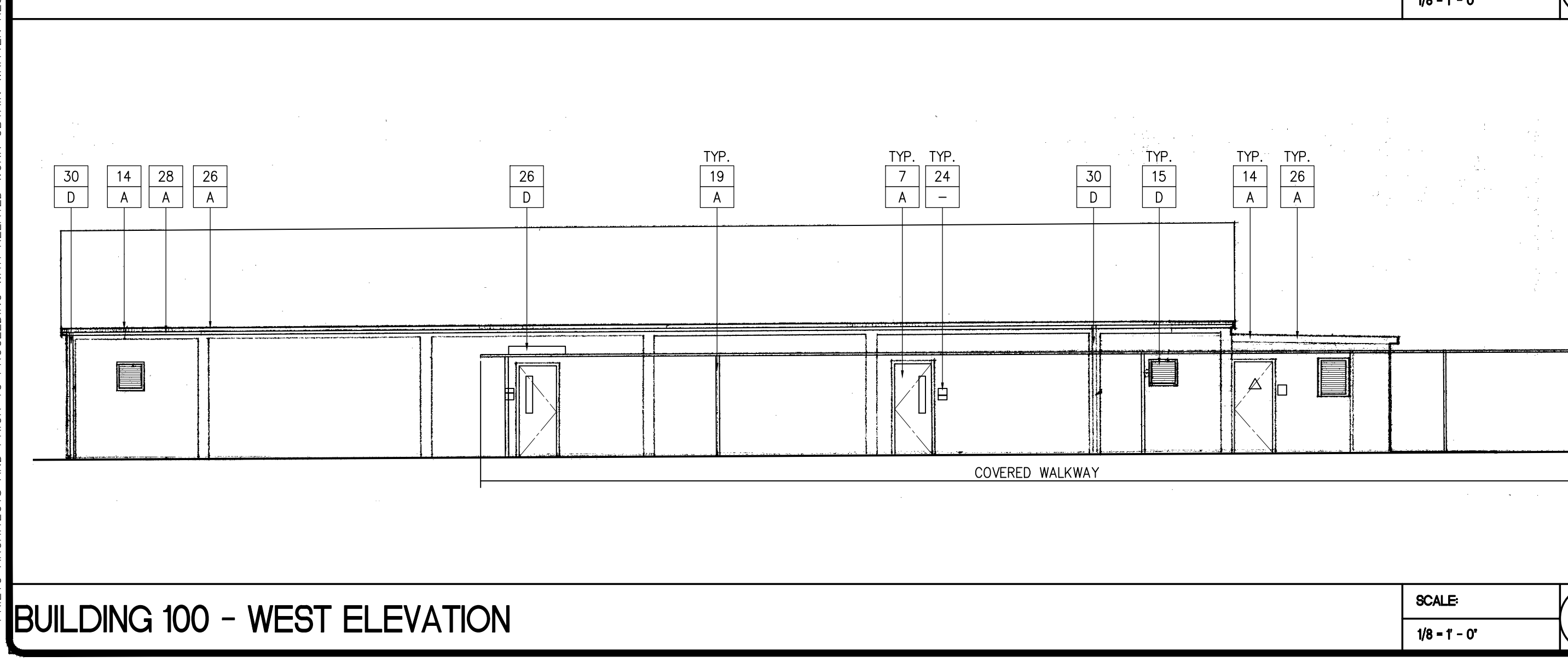
BUILDING 100 - EXTERIOR REFLECTED CEILING PLAN SCALE: 1/8" = 1'-0" 6



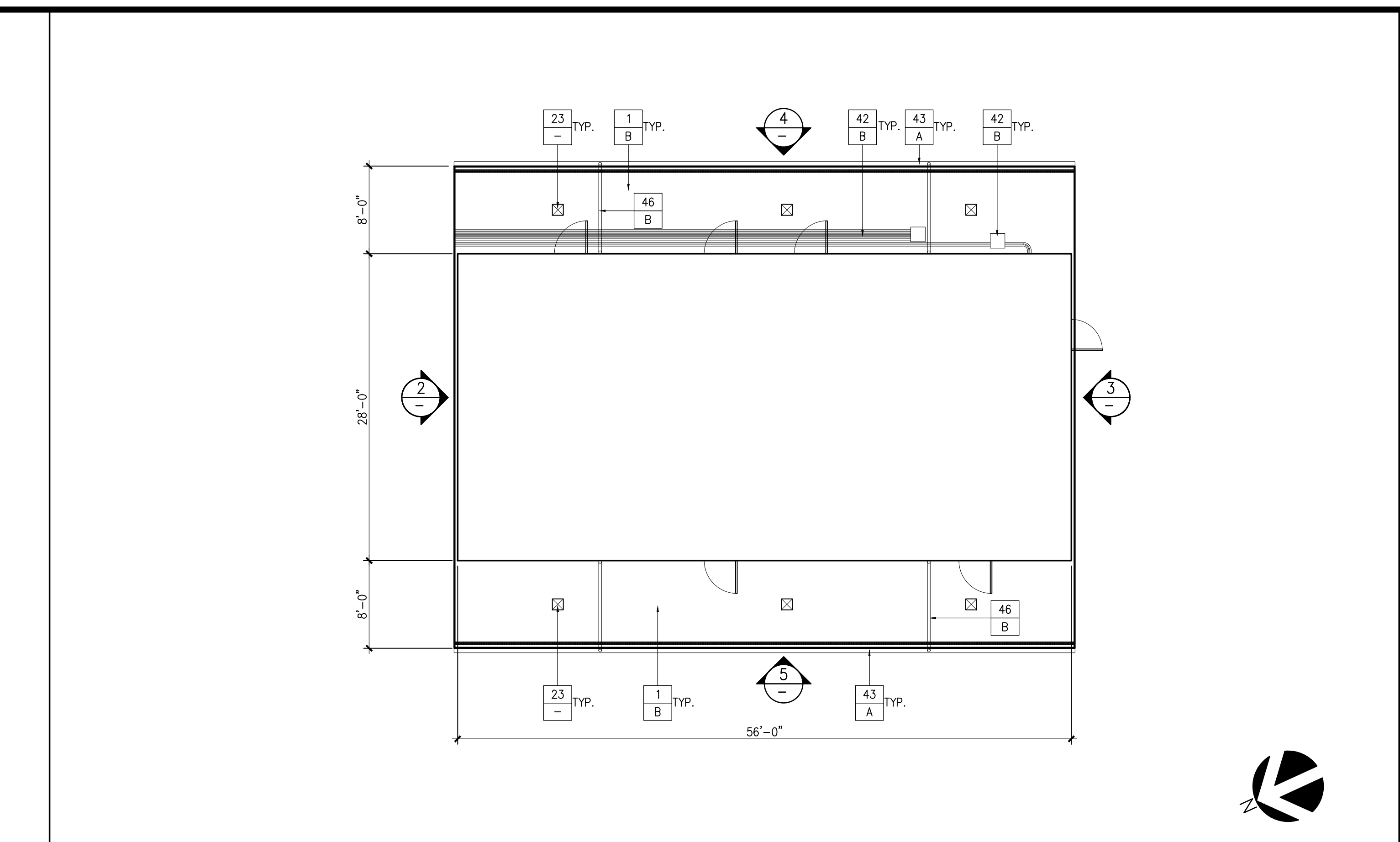
BUILDING 100 - NORTH ELEVATION SCALE: 1/8" = 1'-0" 7 **BUILDING 100 - SOUTH ELEVATION** SCALE: 1/8" = 1'-0" 8



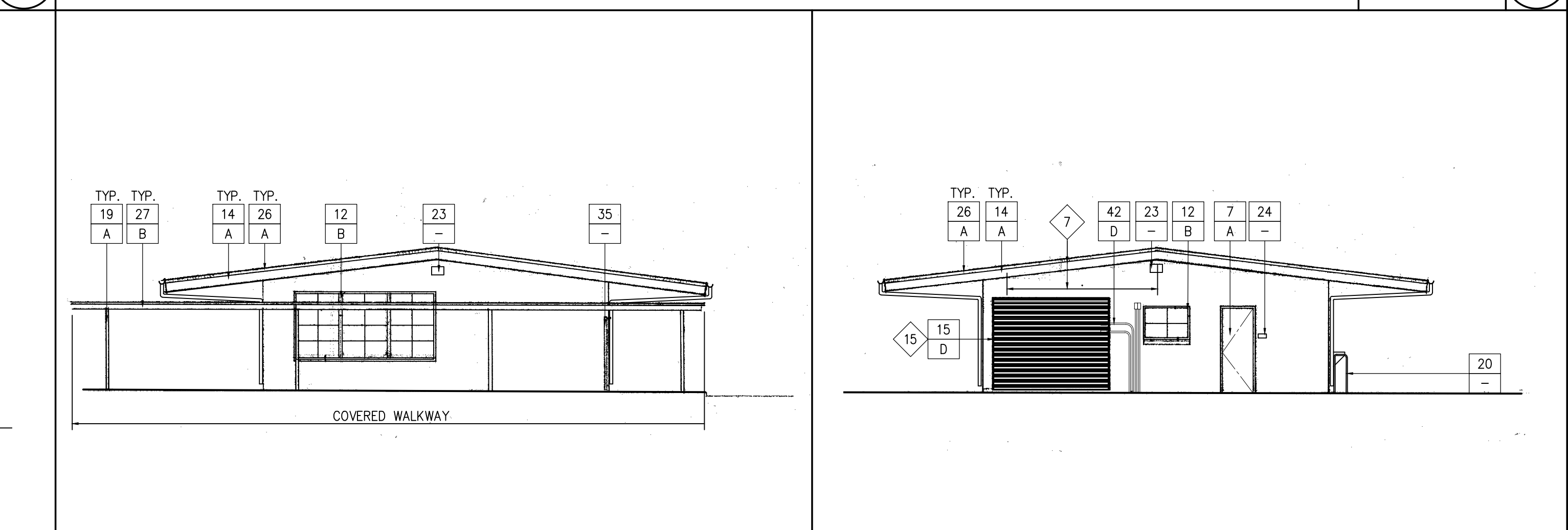
BUILDING 100 - EAST ELEVATION SCALE: 1/8" = 1'-0" 9 **BUILDING 100 - WEST ELEVATION** SCALE: 1/8" = 1'-0" 10



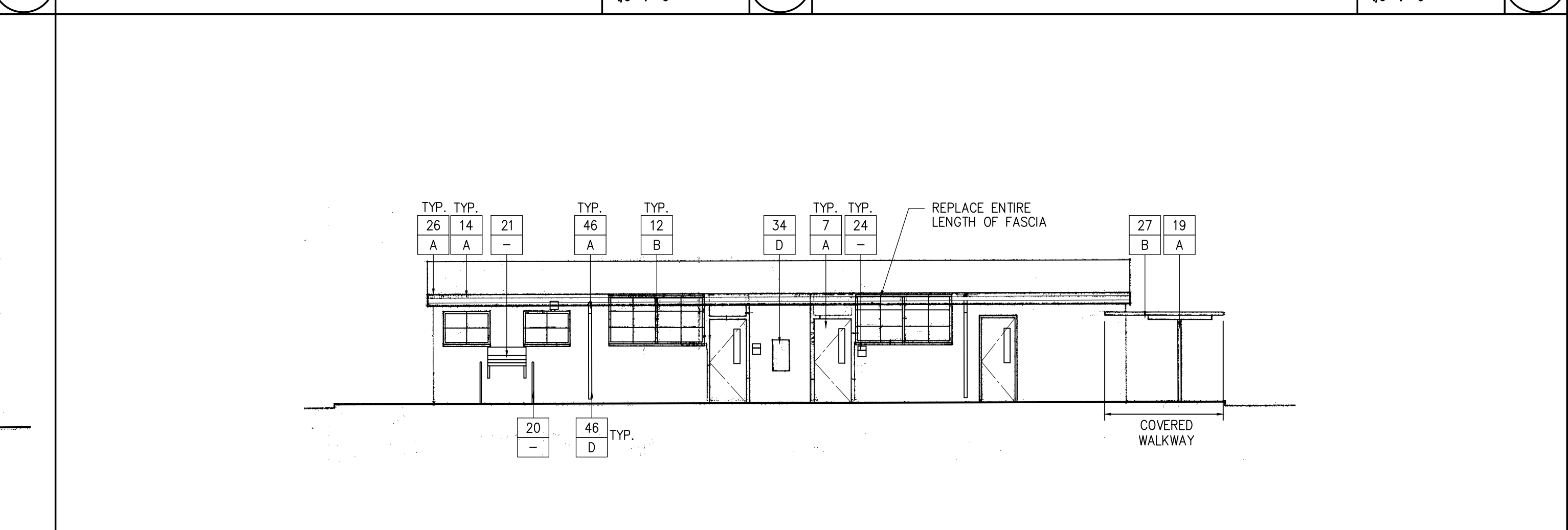
BUILDING 100 - EXTERIOR REFLECTED CEILING PLAN SCALE: 1/8" = 1'-0" 6



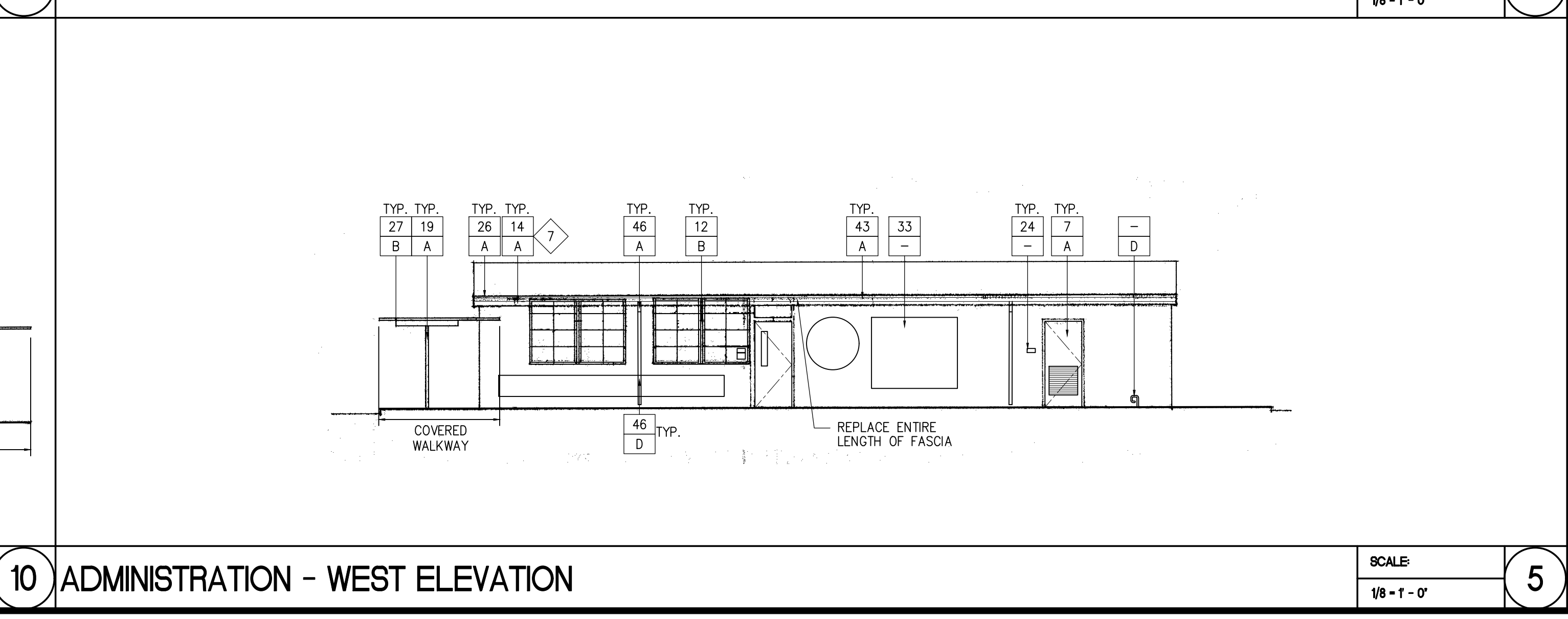
ADMINISTRATION - EXTERIOR REFLECTED CEILING PLAN SCALE: 1/8" = 1'-0" 1



ADMINISTRATION - NORTH ELEVATION SCALE: 1/8" = 1'-0" 2 **ADMINISTRATION - SOUTH ELEVATION** SCALE: 1/8" = 1'-0" 3



ADMINISTRATION - EAST ELEVATION SCALE: 1/8" = 1'-0" 4 **ADMINISTRATION - WEST ELEVATION** SCALE: 1/8" = 1'-0" 5



ADMINISTRATION - EXTERIOR REFLECTED CEILING PLAN SCALE: 1/8" = 1'-0" 1

CONSTRUCTION KEYED NOTES

(ALL ITEMS INDICATED ARE EXISTING UNLESS NOTED.)

1	PLASTER	26	METAL FLASHING/COPING
2	BRICK - SEALED / EXPOSED	27	STEEL FRAMING
3	BRICK - PAINTED	28	METAL GUTTER
4	CONCRETE	29	SCUPPER
5	PLYWOOD PANELING ON WALL / UNDERSIDE OF ROOF OVERHANG	30	STEEL / SHEET METAL DOWNSPOUT
6	STOREFRONT SYSTEM	31	VENT WITH METAL MESH SCREEN / GRATE
7	METAL DOOR / FRAME	32	SCHOOL NAME ADHERED METAL LETTERING
8	WOOD DOOR / FRAME	33	BULLETIN BOARD/SIGNAGE/ETC
9	DOOR - STOREFRONT	34	FIRE EXTINGUISHER / FIRE HOSE ALDOVE
10	WOOD TRIM / FRAME	35	CHAINLINK FENCING/GATES / METAL SCREEN
11	WINDOW FRAME - WOOD	36	WROUGHT-IRON FENCING/GATES
12	WINDOW FRAME - METAL	37	UNDERSIDE OF ROOF OVERHANG / COVERED WALKWAY - TYP SHIP-LAS SIDING
13	GLAZED WINDOW SYSTEM - METAL	38	UNDERSIDE OF ROOF OVERHANG / COVERED WALKWAY - CEMENT PLASTER
14	WOOD FASCIA	39	UNDERSIDE OF ROOF OVERHANG / COVERED WALKWAY - EXPOSED WOOD FRAMING
15	LOUVER - METAL / WOOD	40	UNDERSIDE OF COVERED WALKWAY / LUNCH SHELTER - CORRUGATED METAL
16	WOOD SIDING	41	BOARD-JOINT
17	PLANTER - CONCRETE	42	REPLACE PULL BOX COVER IF RUSTED.
18	PLANTER - BRICK	43	NEW ROOF GUTTER
19	STEEL TUBE/PIPE COLUMN	44	WOOD BAGPACK HANGER
20	PIPE RAILING	45	METAL PLATE
21	DRINKING FOUNTAIN	46	NEW METAL DOWNSPOUT
22	GERAMG-TILE WAINSCOT	47	STOREFRONT GLASS PANE PAINTED TO MATCH CAMPUS
23	LIGHT, SPEAKER, ELECTRICAL BOX ETC.	48	WOOD BEAM
24	SIGNAGE, REPLACE AS REQUIRED TO MATCH CAMPUS	49	METAL FASCIA
25	WOOD SKIRTING		

REPAIR KEYED NOTES

- AREA OF DAMAGED / CRACKED PLASTER. REPAIR AND PATCH WITH NEW PLASTER TO MATCH (E).
- BRICK INFILL OR DISCOLORED BRICK. LIGHTLY VAPORBLAST ENTIRE BRICK WALL SURFACE. COAT WITH ANTI-GRAFFITI COATING. INSPECT ALL BRICK WORK PRIOR TO PROCEEDING.
- DAMAGED / CRACKED BRICK / CONCRETE. REPLACE OR PATCH TO MATCH (E).
- EXPOSED CONCRETE LINTEL. REPAIR CRACKS IF ANY. PAINT TO MATCH ADJACENT BRICK COLOR.
- DAMAGED WOOD PANELING. REMOVE AND REPLACE WITH NEW WOOD PANELING.
- CRACKED / DAMAGED WINDOW PANE. REMOVE AND REPLACE WITH NEW GLASS TO MATCH EXISTING.
- DAMAGED WOOD FASCIA. REMOVE AND REPLACE WITH NEW WOOD FASCIA TO MATCH EXISTING. REPLACE METAL DRIP EDGE AS REQUIRED WHERE DAMAGED. DETAIL 8 / T3.0 SM.
- DAMAGED METAL FLASHING / COPING. REMOVE AND REPLACE WITH NEW FLASHING / COPING TO MATCH EXISTING.
- DAMAGED METAL GUTTER. REMOVE AND REPLACE AS NEEDED WITH NEW METAL GUTTER. DETAIL 7/3.0 PATCH WHERE GUTTER WAS REPLACED AND PATCH ROOFING AS NEEDED.
- DAMAGED DOWNSPOUT. REMOVE AND REPLACE AS NEEDED WITH NEW DOWNSPOUT TO MATCH (E).
- DOWNSPOUT. PROVIDE MISSING / DAMAGED CONNECTION FROM GUTTER TO DOWNSPOUT. SEE DETAIL 1/T3.0.
- DAMAGED VENT. REMOVE AND REPLACE WITH NEW TO MATCH (E). FOR SOFFIT VENT, REMOVE PORTION OF ADJACENT PLASTER OR WOOD AS REQUIRED AND PROVIDE NEW PLASTER / WOOD WHERE REMOVED. SEE DETAIL 7/3.0.
- DAMAGED WOOD SKIRTING. REMOVE AND REPLACE WITH NEW SKIRTING AS NEEDED TO MATCH (E).
- REMOVE AND REPLACE DAMAGED BAGPACK HANGER WOOD PLATE.
- REMOVE (E) LOUVERED OPENING AND PROVIDE NEW. SEE DETAIL 13 & 14/T3.0.
- SAW-CUT UNUSED METAL POST ABOVE FINISH GRADE AND CAP THE OPENING. PROTECT THE CONCRETE AND WALL FROM ANY DAMAGE DURING REMOVAL.
- SCHOOL ADHESIVE LOGO. REMOVE. DISTRICT TO REPLACE WITH NEW ADHESIVE LOGO / STICKER.
- DAMAGED WOOD SIDING. REMOVE AND REPLACE AS REQUIRED.
- DAMAGED WOOD PLANK CEILING TO BE REMOVED AND REPLACED IN AREA INDICATED IN DRAWING.
- ROOM SIGNAGE. REMOVE AND REPLACE WITH NEW SIGNAGE PER DISTRICT'S APPROVAL.
- REMOVE WOOD LATTICE OVER LOUVERED OPENING.
- HOLE IN BRICK MASONRY. FILL WITH COLORED GROUT TO MATCH BRICK.
- DAMAGED ELECTRICAL BOX / SPEAKER TO BE REPLACED BY THE DISTRICT BEFORE PAINTING WORK BEGINS. REFER TO TYP. PAINTING AND CONSTRUCTION NOTES #5.
- DAMAGED METAL FASCIA. REMOVE AND REPLACE WITH NEW METAL FASCIA TO MATCH EXISTING. REPLACE METAL DRIP EDGE AS REQUIRED WHERE DAMAGED.
- WOOD PLANK / SKIRTING WITH LOOSE EDGE. NAIL / FIX AS REQUIRED.

COLOR NOTES

COLOR / MANUFACTURER

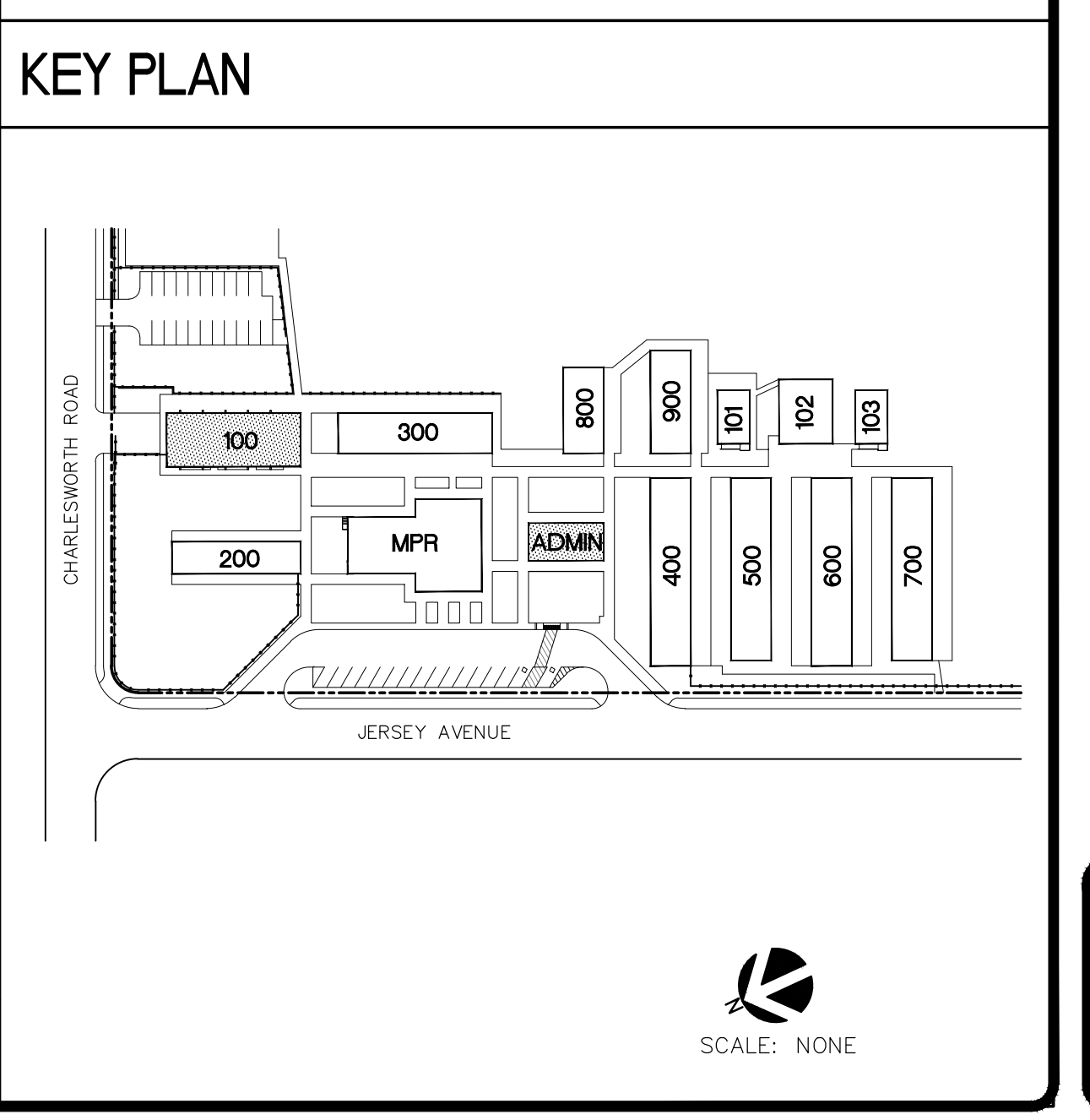
- A ACCENT COLOR DUNN EDWARDS - "LAKE CENTER BLUE" EVSH50-2 EVERSHELD EXT S/G
- B BASE COLOR DUNN EDWARDS - "THATCHED ROOF" DE6177
- C CLEAR SEALER "STONEGONE" 446-1-BY-EPMAR (2-GOATS)
- D PAINT COLOR TO MATCH (E) BRICK FROM DUNN EDWARDS TO BE DECIDED BY DISTRICT

LEGEND

- 6 MATERIAL INDICATION
- A COLOR INDICATION

TYP. PAINTING + CONSTRUCTION NOTES

- ALL REPAIR WORK INDICATED IN REPAIR KEYED NOTES TO BE DONE PRIOR TO START OF PAINTING WORK.
- REFER TO SPECIFICATIONS FOR PAINTING PREPARATION OF DIFFERENT MATERIALS AND SURFACES PRIOR TO START OF PAINTING WORK.
- FIELD VERIFY ALL CONDITIONS PRIOR TO PROCEEDING.
- PRIOR TO THE START OF CONSTRUCTION OR ORDERING MATERIALS, PROVIDE THE ARCHITECT WITH A COMPLETE COLOR PALLETTE OF ALL MATERIALS FOR REVIEW.
- MASK ALL ELECTRICAL FIXTURES PRIOR TO PAINTING.



KEY PLAN SCALE: NONE

DATE: 03/11/22
 JOB NO.: 180104
 DESIGNED BY: KC
 DRAWN BY: KA
 CHECKED BY: JP

EXTERIOR REFLECTED CEILING PLANS AND EXTERIOR ELEVATIONS FOR ADMINISTRATION AND BUILDING 100

ZEMBA + PRIETO ARCHITECTS
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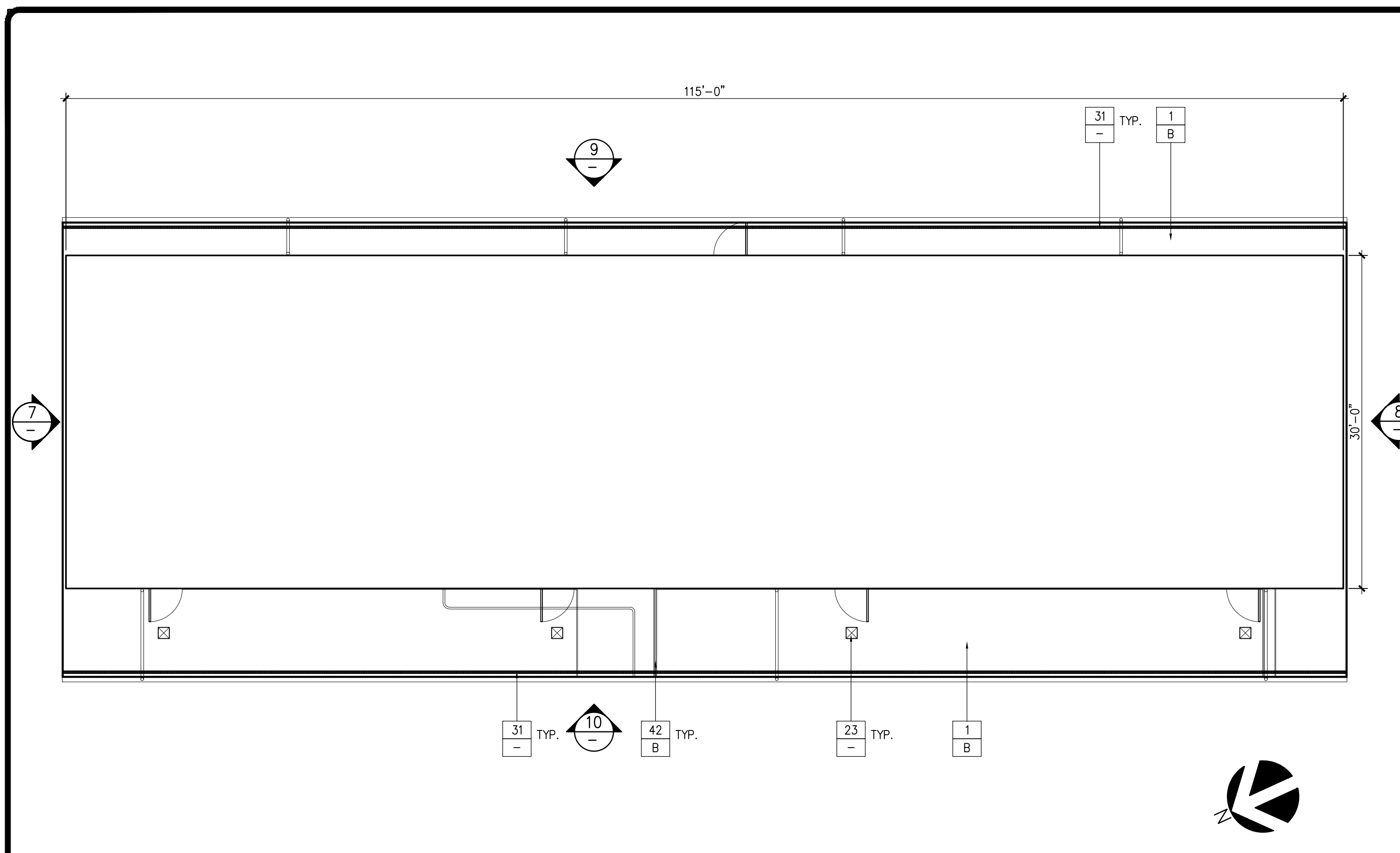
LITTLE LAKE CITY SCHOOL DISTRICT
 DISTRICT WIDE PAINTING PROJECT
 JERSEY AVENUE ELEMENTARY SCHOOL
 9400 JERSEY AVENUE,
 SANTA FE SPRINGS, CA 90670

LICENSED ARCHITECT
 C-33216
 RENEWAL DATE
 NOV. 30, 2023
 STATE OF CALIFORNIA

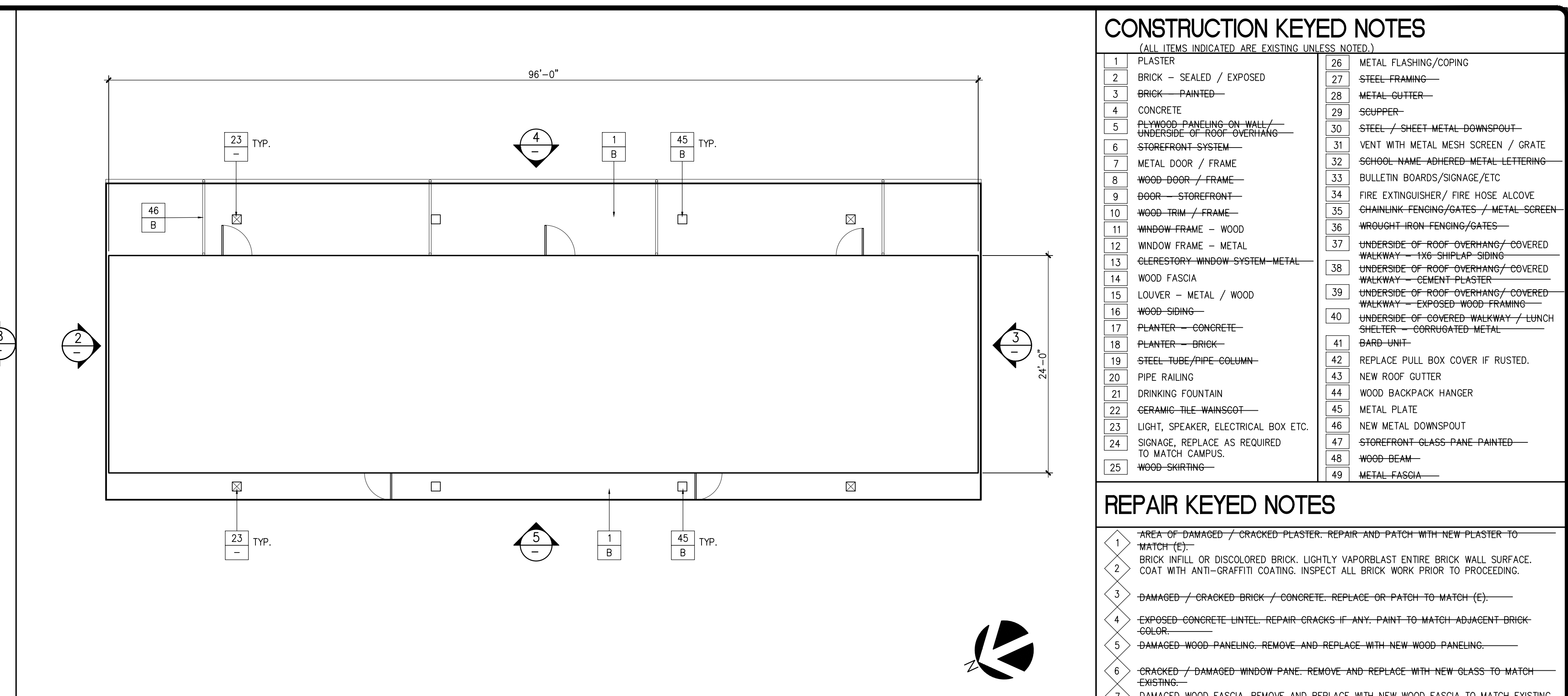
SHEET NO.
A4.0-E

ORIGINAL DATE: 03/26/18

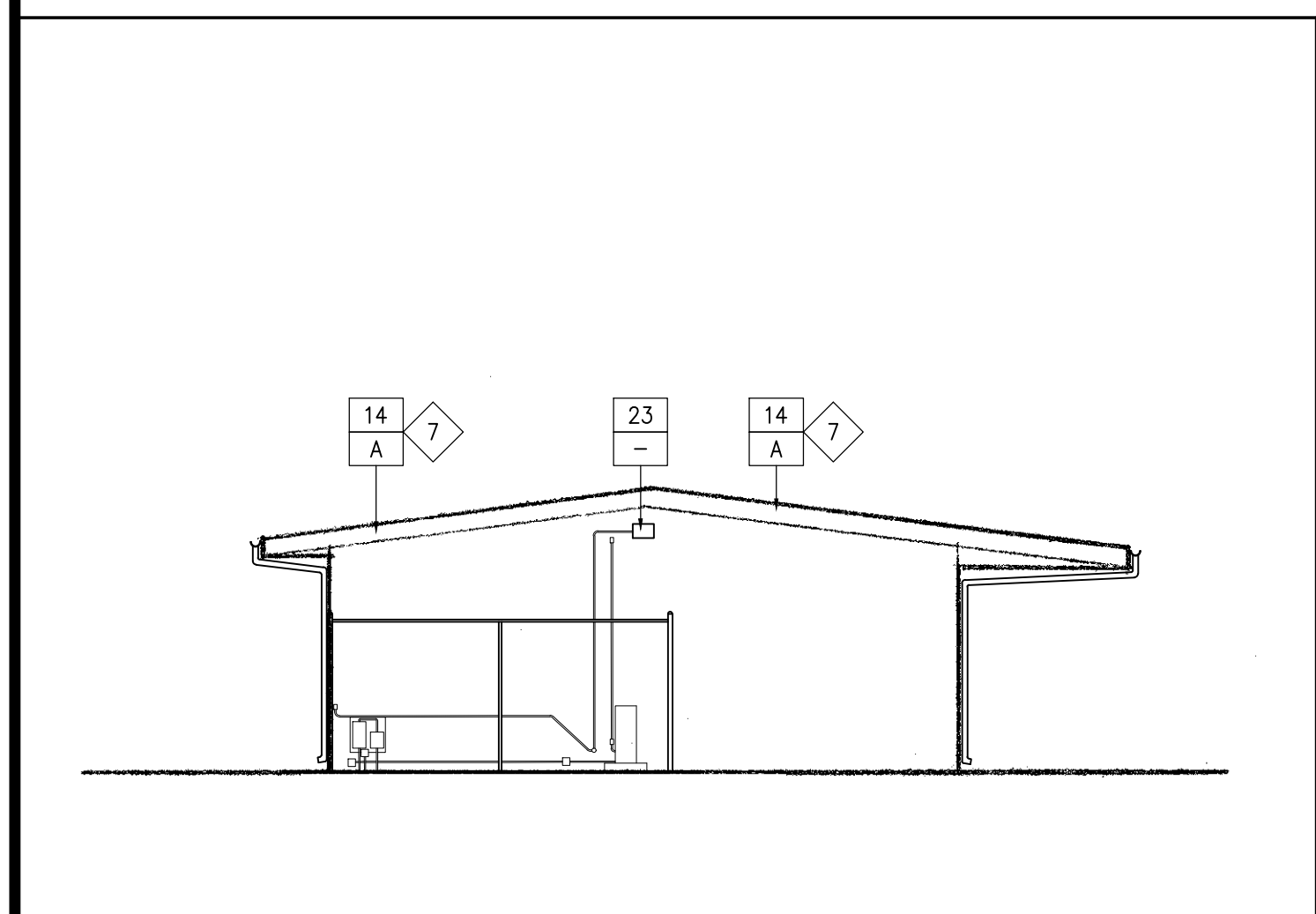
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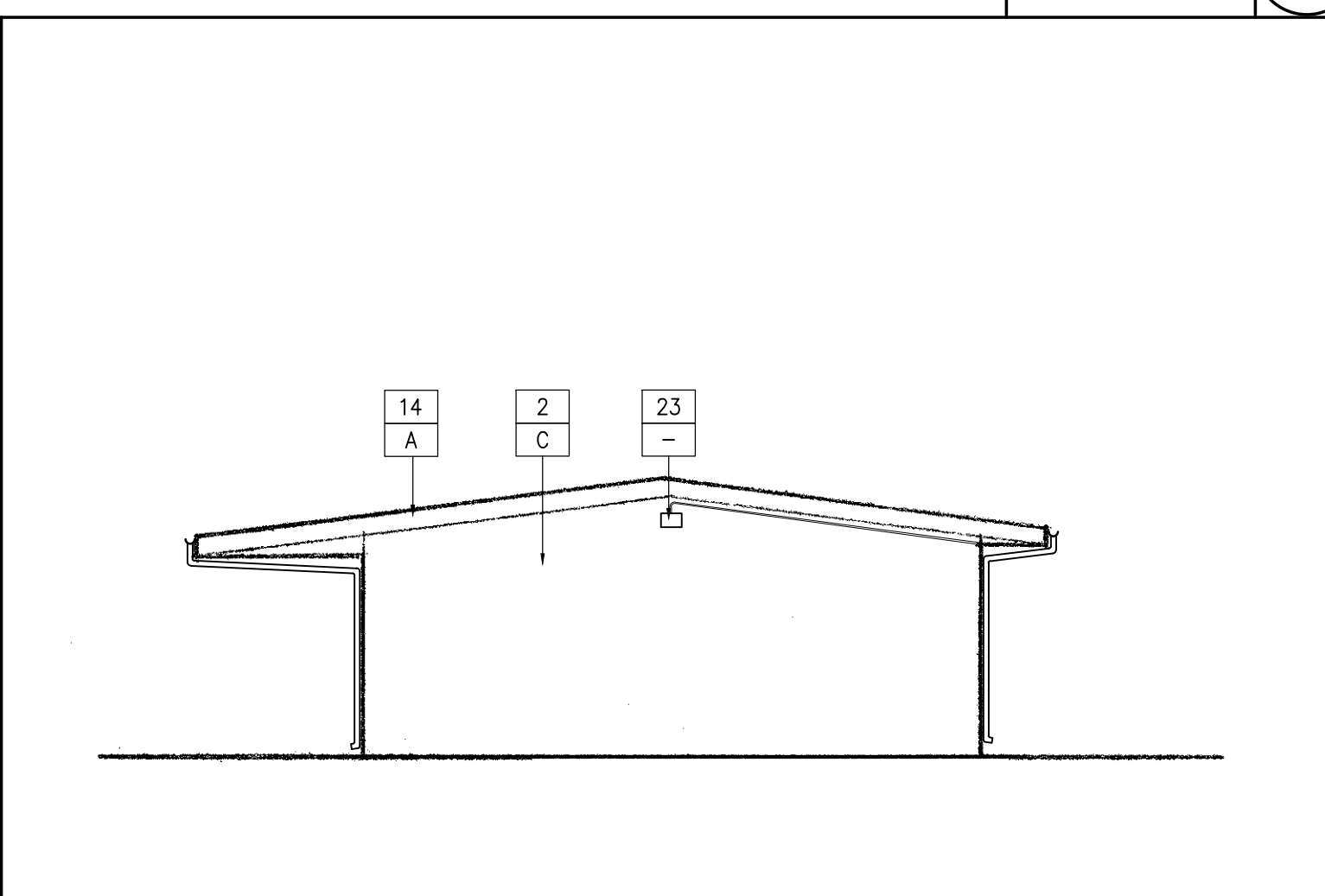
BUILDING 300 - EXTERIOR REFLECTED CEILING PLAN SCALE: 1/8" = 1'-0" **6**



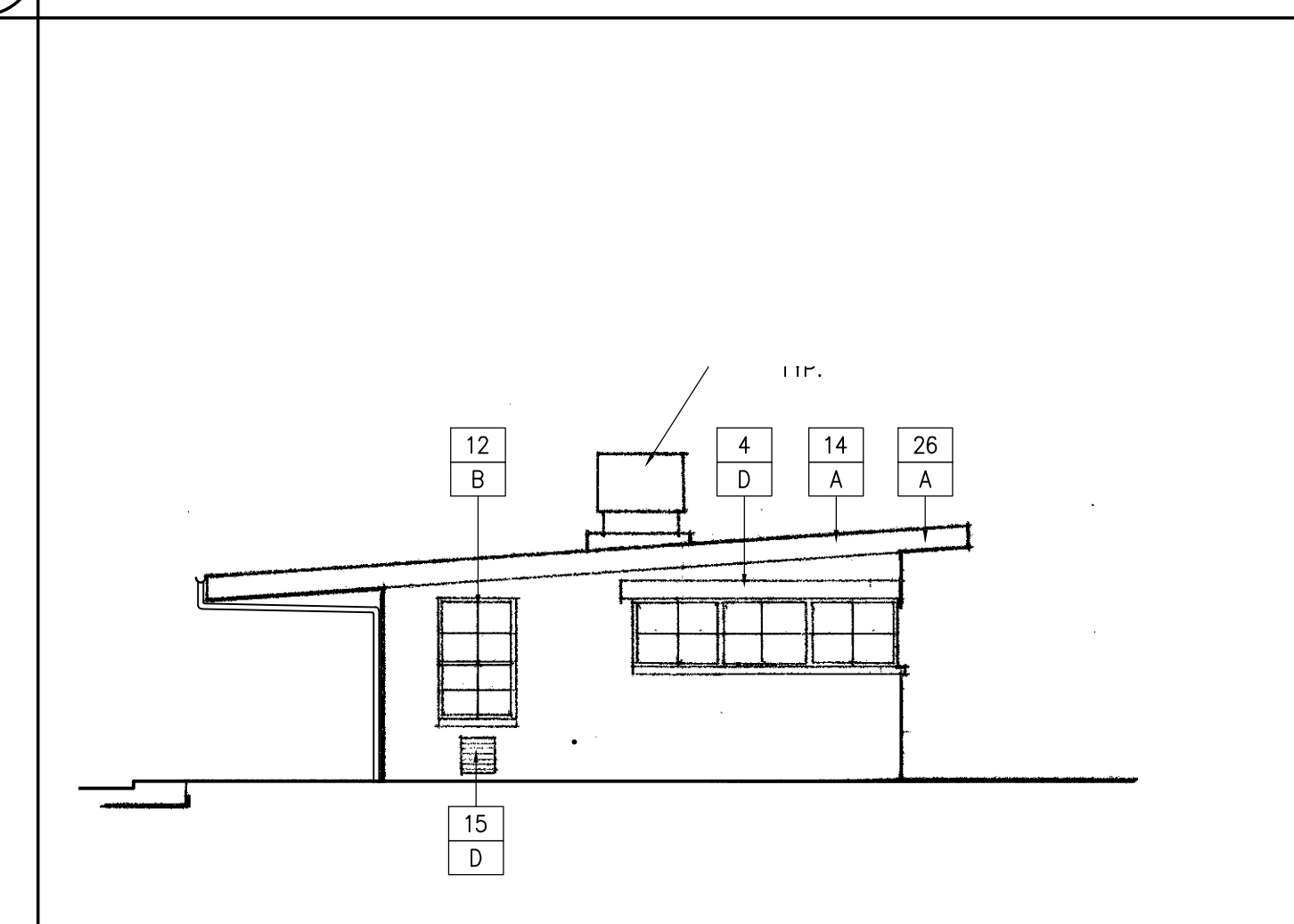
BUILDING 200 - EXTERIOR REFLECTED CEILING PLAN SCALE: 1/8" = 1'-0" **1**



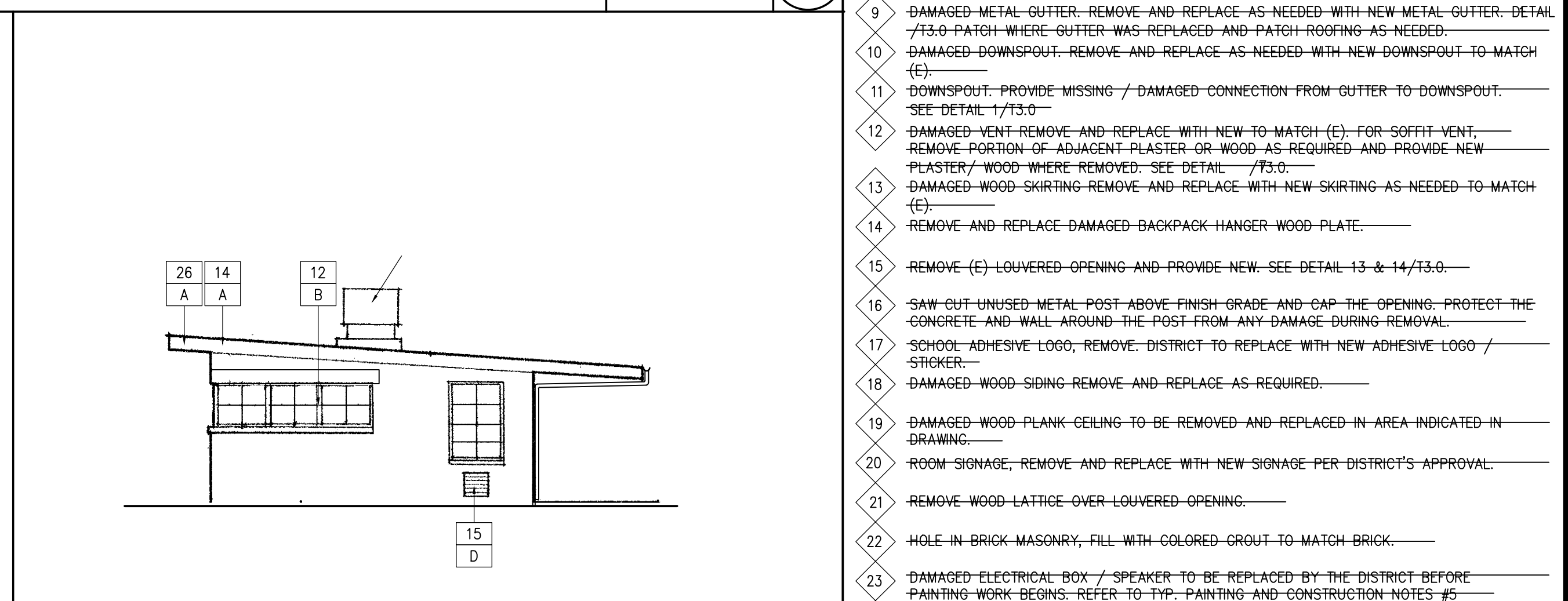
BUILDING 300 - NORTH ELEVATION SCALE: 1/8" = 1'-0" **7**



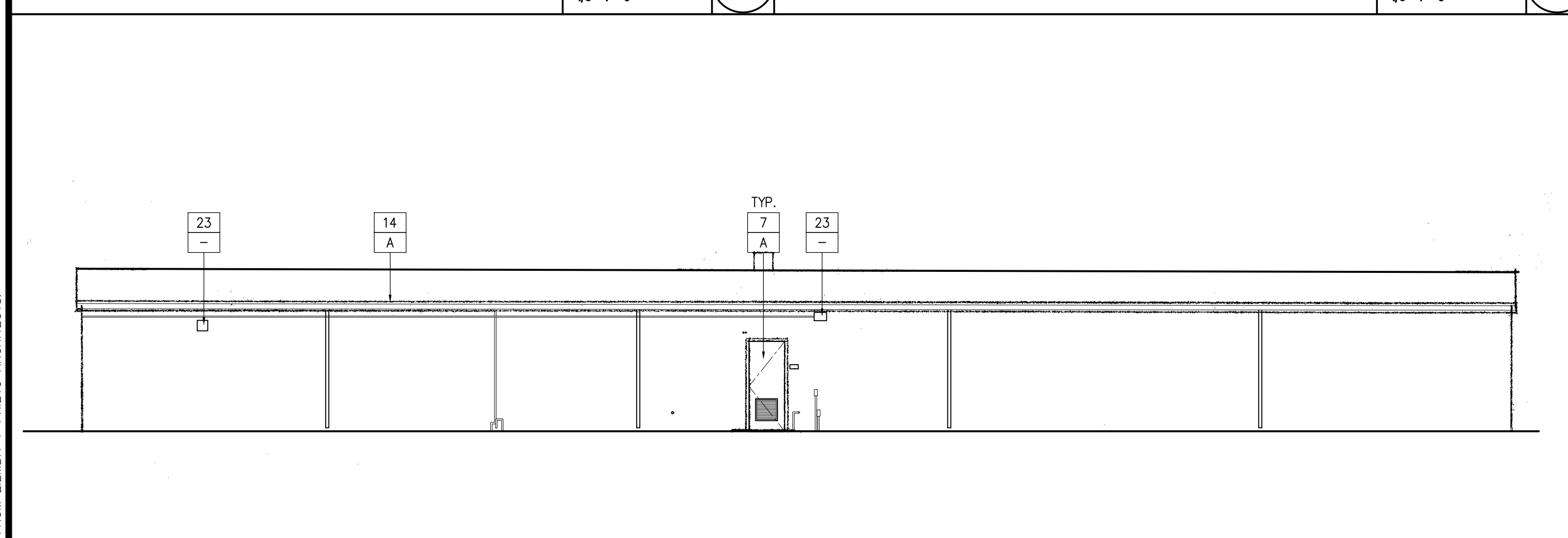
BUILDING 300 - SOUTH ELEVATION SCALE: 1/8" = 1'-0" **8**



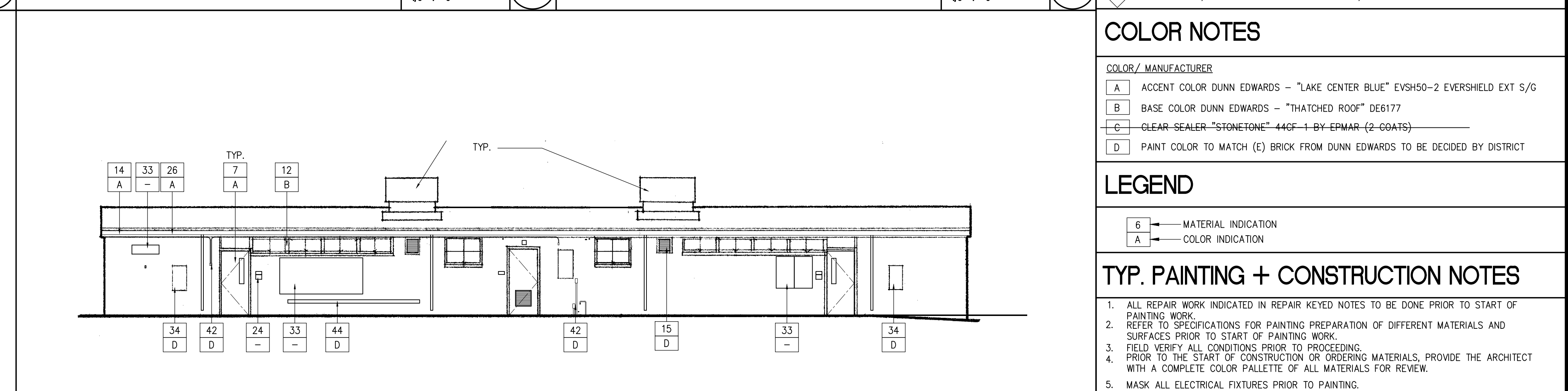
BUILDING 200 - NORTH ELEVATION SCALE: 1/8" = 1'-0" **2**



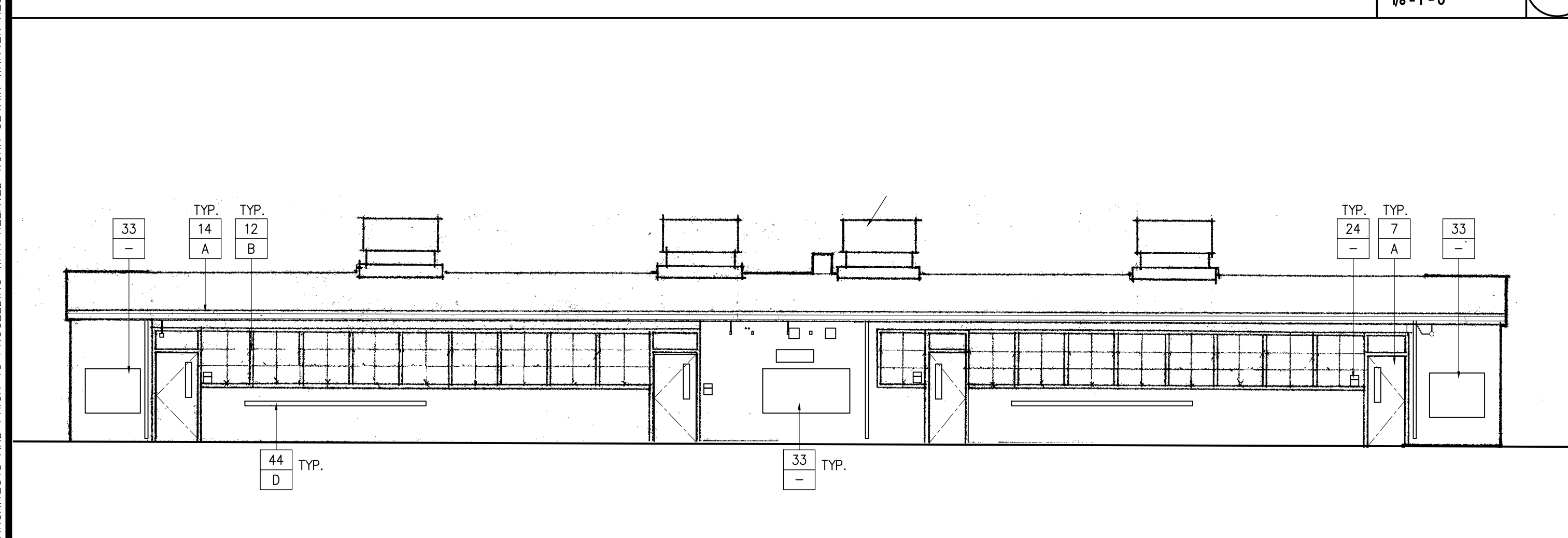
BUILDING 200 - SOUTH ELEVATION SCALE: 1/8" = 1'-0" **3**



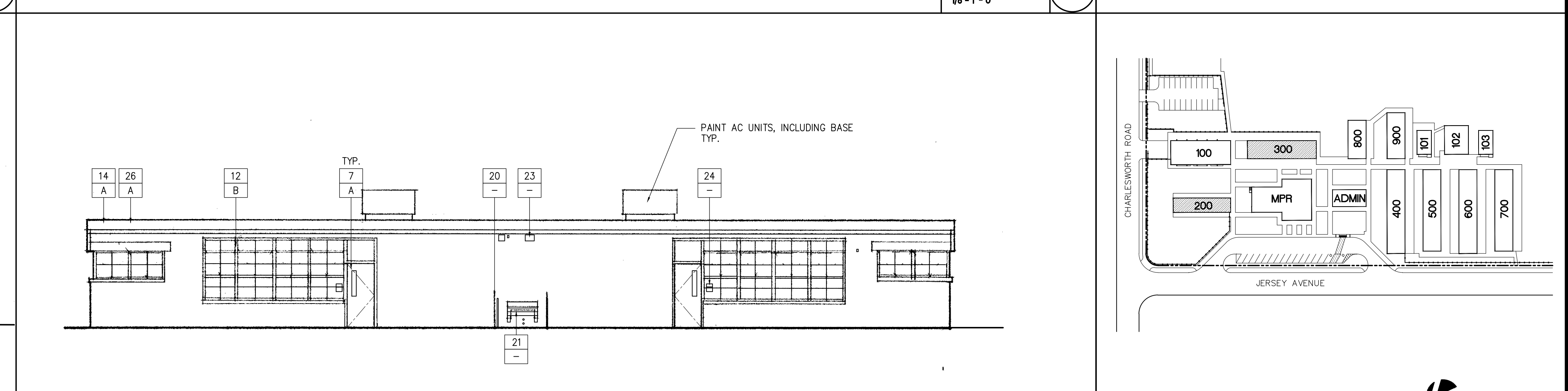
BUILDING 300 - EAST ELEVATION SCALE: 1/8" = 1'-0" **9**



BUILDING 200 - EAST ELEVATION SCALE: 1/8" = 1'-0" **4**



BUILDING 300 - WEST ELEVATION SCALE: 1/8" = 1'-0" **10**



BUILDING 200 - WEST ELEVATION SCALE: 1/8" = 1'-0" **5**

CONSTRUCTION KEYED NOTES

(ALL ITEMS INDICATED ARE EXISTING UNLESS NOTED.)

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6	STOREFRONT-SYSTEM	31	VENT WITH METAL MESH SCREEN / GRATE
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11	WINDOW-FRAME - WOOD	36	WROUGHT-IRON-FENCING/GATES
12	WINDOW-FRAME - METAL	37	UNDERSIDE-OF-ROOF-OVERHANG / COVERED WALKWAY - TIG-SHIFLAR-SIDING
13	GLAZED-WINDOW-SYSTEM-METAL	38	UNDERSIDE-OF-ROOF-OVERHANG / COVERED WALKWAY - CEMENT-PLASTER
14	WOOD-FASCIA	39	UNDERSIDE-OF-ROOF-OVERHANG / COVERED WALKWAY - EXPOSED-WOOD-FRAMING
15	LOUVER - METAL / WOOD	40	UNDERSIDE-OF-COVERED-WALKWAY / LUNCH SHELTER - CORRUGATED-METAL
16	WOOD-SIDING	41	BOARD-UNIT
17	PLANTER - CONCRETE	42	REPLACE FULL BOX COVER IF RUSTED.
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19	STEEL-TUBE/PIPE-COLUMN	44	WOOD BACKPACK HANGER
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21	DRINKING FOUNTAIN	46	NEW METAL DOWNSPOUT
22	GERAMG-TILE-WAINSCOT	47	STOREFRONT-GLASS-PANE-PAINTED TO MATCH CAMPUS
23	LIGHT, SPEAKER, ELECTRICAL BOX ETC.	48	WOOD-BEAM
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REPAIR KEYED NOTES

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- DAMAGED METAL FLASHING / COPING, REMOVE AND REPLACE WITH NEW FLASHING / COPING TO MATCH EXISTING.
- DAMAGED METAL GUTTER, REMOVE AND REPLACE AS NEEDED WITH NEW METAL GUTTER - DETAIL 1/13.0.
- DAMAGED DOWNSPOUT, REMOVE AND REPLACE AS NEEDED WITH NEW DOWNSPOUT TO MATCH (E).
- DOWNSPOUT PROVIDE MISSING / DAMAGED CONNECTION FROM GUTTER TO DOWNSPOUT. SEE DETAIL 1/13.0.
- DAMAGED VENT REMOVE AND REPLACE WITH NEW TO MATCH (E). FOR SOFFIT VENT, REMOVE PORTION OF ADJACENT PLASTER OR WOOD AS REQUIRED AND PROVIDE NEW PLASTER / WOOD WHERE REMOVED - SEE DETAIL 1/13.0.
- DAMAGED WOOD SKIRTING REMOVE AND REPLACE WITH NEW SKIRTING AS NEEDED TO MATCH (E).
- REMOVE AND REPLACE DAMAGED BACKPACK HANGER WOOD PLATE.
- REMOVE (E) LOUVERED OPENING AND PROVIDE NEW. SEE DETAIL 1-3 & 14/13.0.
- SAW-CUT UNUSED METAL POST ABOVE FINISH GRADE AND CAP THE OPENING. PROTECT THE CONCRETE AND WALL AROUND THE POST FROM ANY DAMAGE DURING REMOVAL.
- SCHOOL ADHESIVE LOGO, REMOVE, DISTRICT TO REPLACE WITH NEW ADHESIVE LOGO / STICKER.
- DAMAGED WOOD SIDING REMOVE AND REPLACE AS REQUIRED.
- DAMAGED WOOD PLANK CEILING TO BE REMOVED AND REPLACED IN AREA INDICATED IN DRAWING.
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COLOR NOTES

COLOR / MANUFACTURER

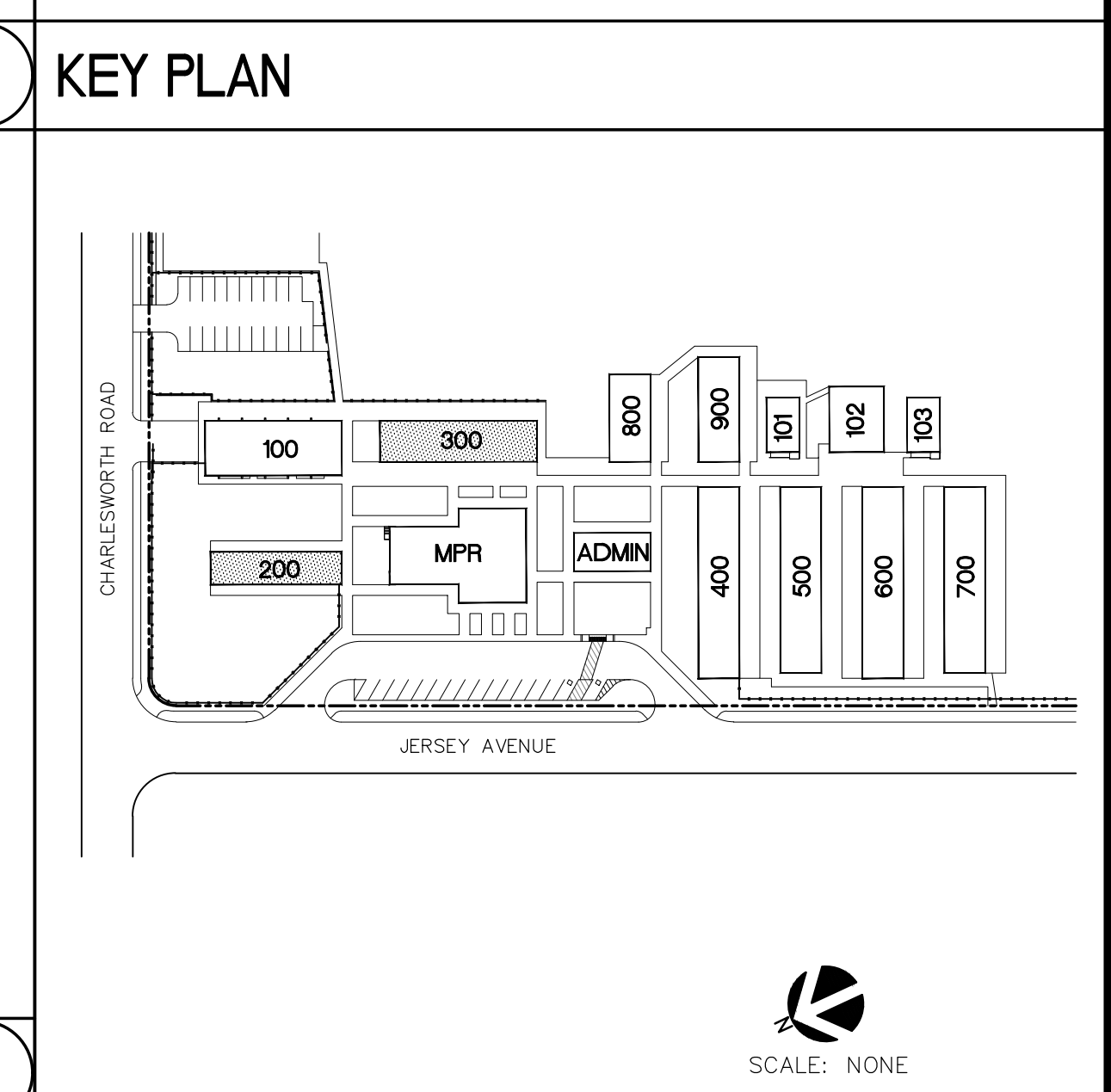
- A ACCENT COLOR DUNN EDWARDS - "LAKE CENTER BLUE" EVSH50-2 EVERSHIELD EXT S/G
- B BASE COLOR DUNN EDWARDS - "THATCHED ROOF" DE6177
- C CLEAR SEALER "STONEONE" 44GF-1 BY EPMAR (2-60ATS)
- D PAINT COLOR TO MATCH (E) BRICK FROM DUNN EDWARDS TO BE DECIDED BY DISTRICT

LEGEND

- 6 MATERIAL INDICATION
- A COLOR INDICATION

TYP. PAINTING + CONSTRUCTION NOTES

- ALL REPAIR WORK INDICATED IN REPAIR KEYED NOTES TO BE DONE PRIOR TO START OF PAINTING WORK.
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DATE: 03/11/22
 JOB NO.: 180104
 DESIGNED BY: KC
 DRAWN BY: KA
 CHECKED BY: JP

EXTERIOR REFLECTED CEILING PLANS AND EXTERIOR ELEVATIONS FOR BUILDINGS 200 & 300

ZIEMBA + PRIETO ARCHITECTS
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 P: (818) 841-2885 • F: (818) 841-7782 • www.ziembaprietoarch.com

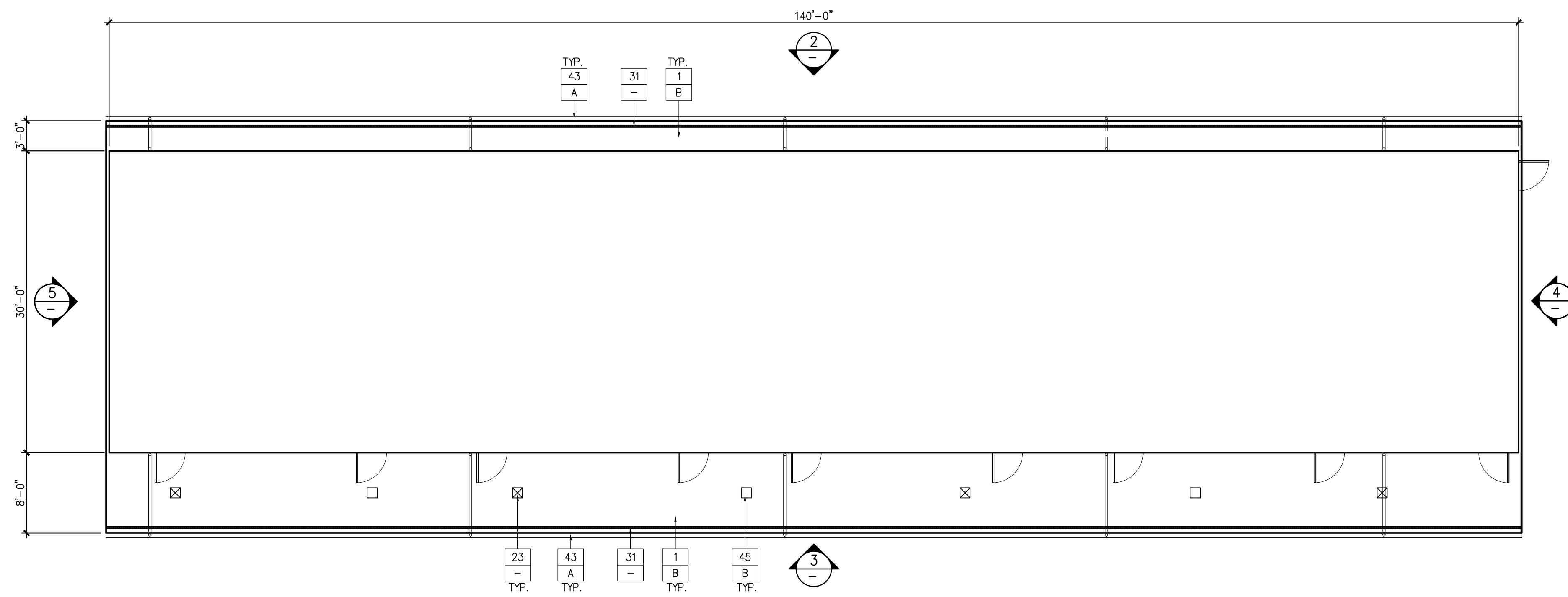
LITTLE LAKE CITY SCHOOL DISTRICT
 DISTRICT WIDE PAINTING PROJECT
 9400 JERSEY AVENUE
 SANTA FE SPRINGS, CA 90670

LICENSED ARCHITECT
 C-33216
 RENEWAL DATE
 NOV. 30, 2023
 STATE OF CALIFORNIA

SHEET NO.
A4.1-E

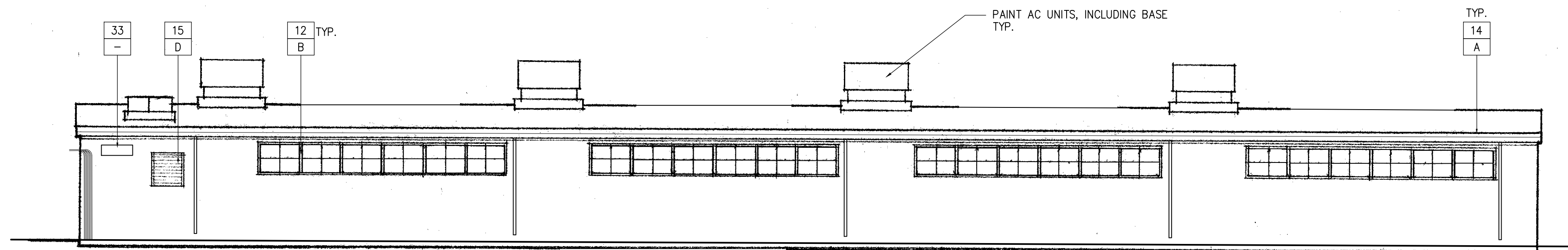
ORIGINAL DATE: 03/26/18

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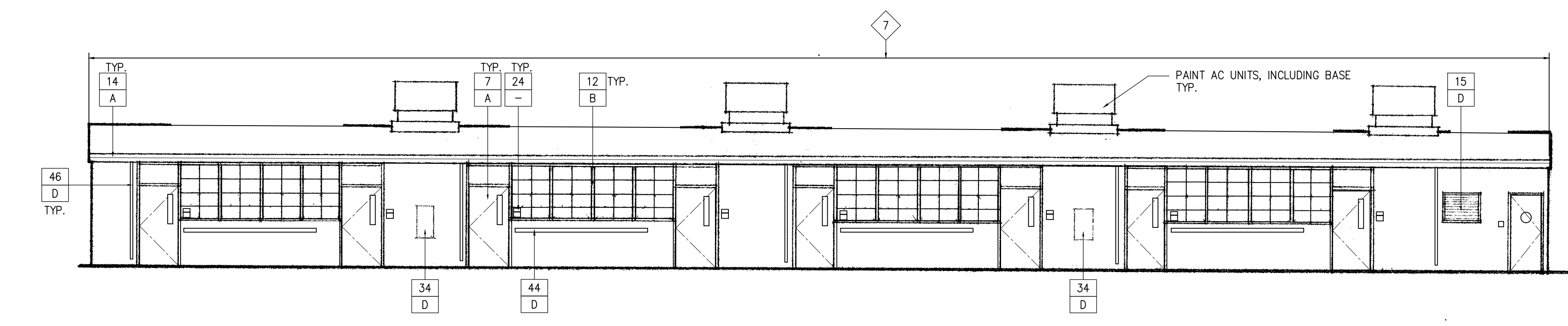
BUILDING 400, 600 - EXTERIOR REFLECTED CEILING PLAN (BUILDINGS 500 AND 700 SIMILAR)

SCALE: 1/8" = 1'-0" 1



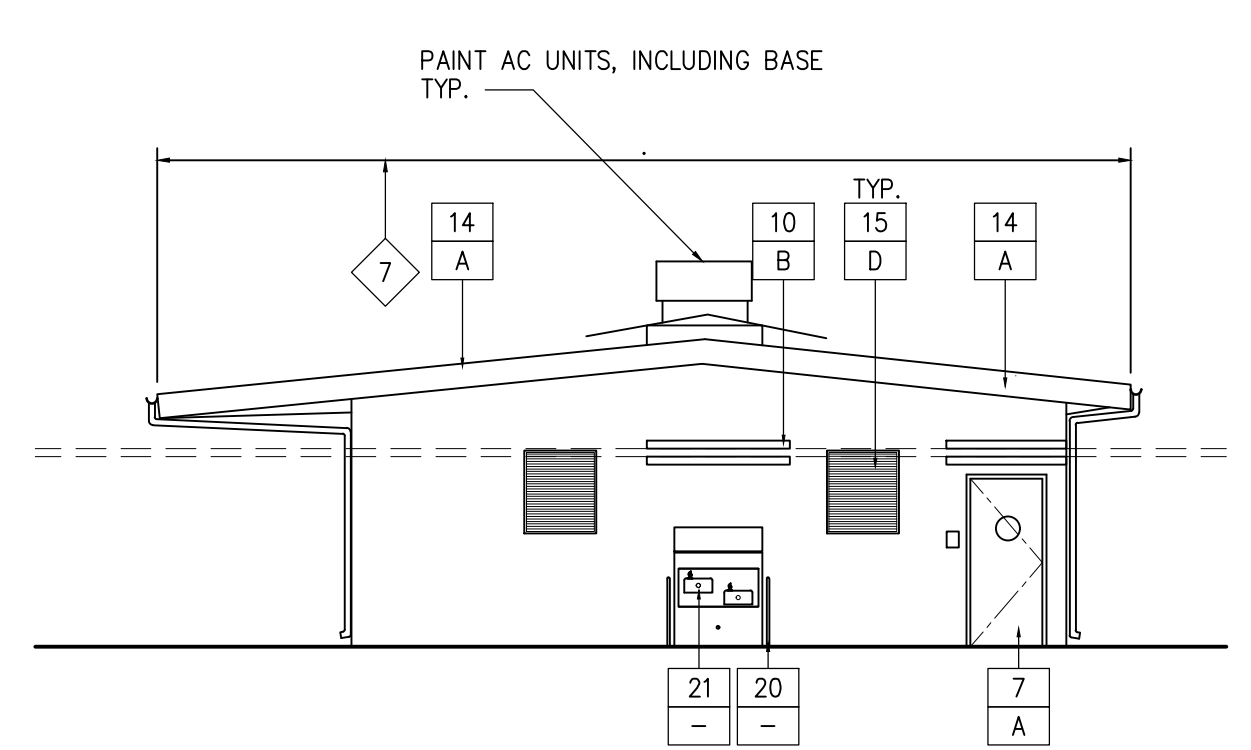
BUILDING 400, 600 - NORTH ELEVATION (BUILDINGS 500 AND 700 SIMILAR)

SCALE: 1/8" = 1'-0" 2



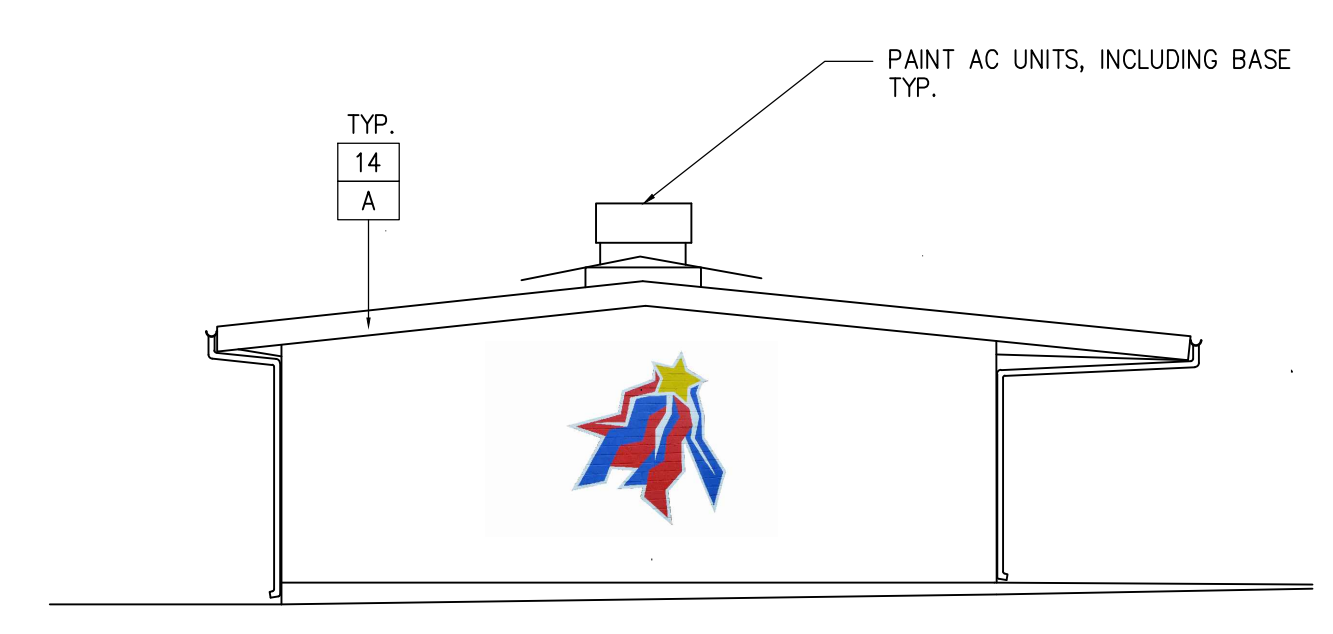
BUILDING 400, 600 - SOUTH ELEVATION (BUILDINGS 500 AND 700 SIMILAR)

SCALE: 1/8" = 1'-0" 3



BUILDING 400, 600 - EAST ELEVATION (BUILDINGS 500 AND 700 SIMILAR)

SCALE: 1/8" = 1'-0" 4



BUILDING 400, 600 - WEST ELEVATION (BUILDINGS 500 AND 700 SIMILAR)

SCALE: 1/8" = 1'-0" 5

CONSTRUCTION KEYED NOTES

Table with 2 columns of construction notes. Items include: 1. PLASTER, 2. BRICK - SEALED / EXPOSED, 3. BRICK - PAINTED, 4. CONCRETE, 5. PLYWOOD PANELING ON WALL / UNDERSIDE OF ROOF OVERHANG, 6. STOREFRONT SYSTEM, 7. METAL DOOR / FRAME, 8. WOOD DOOR / FRAME, 9. DOOR - STOREFRONT, 10. WOOD TRIM / FRAME, 11. WINDOW FRAME - WOOD, 12. WINDOW FRAME - METAL, 13. GLAZING WINDOW SYSTEM - METAL, 14. WOOD FASCIA, 15. LOUVER - METAL / WOOD, 16. WOOD SIDING, 17. PLANTER - CONCRETE, 18. PLANTER - BRICK, 19. STEEL TUBE / PIPE COLUMN, 20. PIPE RAILING, 21. DRINKING FOUNTAIN, 22. CERAMIC TILE WAINSCOT, 23. LIGHT, SPEAKER, ELECTRICAL BOX ETC., 24. SIGNAGE, REPLACE AS REQUIRED TO MATCH CAMPUS, 25. WOOD SKIRTING, 26. METAL FLASHING / COPING, 27. STEEL FRAMING, 28. METAL GUTTER, 29. SCUPPER, 30. STEEL / SHEET METAL DOWNSPOUT, 31. VENT WITH METAL MESH SCREEN / GRATE, 32. BULLETIN BOARDS / SIGNAGE / ETC., 33. FIRE EXTINGUISHER / FIRE HOSE ALDOVE, 34. CHAINLINK FENCING / GATES - METAL SCREEN, 35. WROUGHT IRON FENCING / GATES, 36. UNDERSIDE OF ROOF OVERHANG / COVERED WALKWAY - 1X6 SHIP-LAP SIDING, 37. UNDERSIDE OF ROOF OVERHANG / COVERED WALKWAY - CEMENT PLASTER, 38. UNDERSIDE OF ROOF OVERHANG / COVERED WALKWAY - EXPOSED WOOD FRAMING, 39. UNDERSIDE OF COVERED WALKWAY / LUNCH SHELTER - CORRUGATED METAL, 40. BARD UNIT, 41. REPLACE FULL BOX COVER IF RUSTED, 42. NEW ROOF GUTTER, 43. WOOD BACKPACK HANGER, 44. METAL PLATE, 45. NEW METAL DOWNSPOUT, 46. STOREFRONT GLASS PANE - PAINTED WOOD BEAM, 47. WOOD BEAM, 48. METAL FASCIA, 49.

REPAIR KEYED NOTES

- 1. AREA OF DAMAGED / CRACKED PLASTER - REPAIR AND PATCH WITH NEW PLASTER TO MATCH (E).
- 2. BRICK INFILL OR DISCOLORED BRICK, LIGHTLY VAPORBLAST ENTIRE BRICK WALL SURFACE. COAT WITH ANTI-GRAFFITI COATING. INSPECT ALL BRICK WORK PRIOR TO PROCEEDING.
- 3. DAMAGED / CRACKED BRICK / CONCRETE, REPLACE OR PATCH TO MATCH (E).
- 4. EXPOSED CONCRETE LINTEL, REPAIR CRACKS IF ANY, PAINT TO MATCH ADJACENT BRICK COLOR.
- 5. DAMAGED WOOD PANELING, REMOVE AND REPLACE WITH NEW WOOD PANELING.
- 6. CRACKED / DAMAGED WINDOW PANE, REMOVE AND REPLACE WITH NEW GLASS TO MATCH EXISTING.
- 7. DAMAGED WOOD FASCIA, REMOVE AND REPLACE WITH NEW WOOD FASCIA TO MATCH EXISTING.
- 8. REPLACE METAL DRIP EDGE AS REQUIRED WHERE DAMAGED - DETAIL 8-713.0 SIM.
- 9. DAMAGED METAL FLASHING / COPING, REMOVE AND REPLACE WITH NEW FLASHING / COPING TO MATCH EXISTING.
- 10. DAMAGED METAL GUTTER, REMOVE AND REPLACE AS NEEDED WITH NEW METAL GUTTER - DETAIL 7-13.0 PATCH WHERE GUTTER WAS REPLACED AND PATCH ROOFING AS NEEDED.
- 11. DAMAGED DOWNSPOUT, REMOVE AND REPLACE AS NEEDED WITH NEW DOWNSPOUT TO MATCH (E).
- 12. DOWNSPOUT PROVIDE MISSING / DAMAGED CONNECTION FROM GUTTER TO DOWNSPOUT. SEE DETAIL 1-713.0.
- 13. DAMAGED VENT REMOVE AND REPLACE WITH NEW TO MATCH (E) FOR SOFFIT VENT. REMOVE PORTION OF ADJACENT PLASTER OR WOOD AS REQUIRED AND PROVIDE NEW PLASTER / WOOD WHERE REMOVED - SEE DETAIL 7-13.0.
- 14. DAMAGED WOOD SKIRTING REMOVE AND REPLACE WITH NEW SKIRTING AS NEEDED TO MATCH (E).
- 15. REMOVE AND REPLACE DAMAGED BACKPACK HANGER WOOD PLATE.
- 16. REMOVE (E) LOUVERED OPENING AND PROVIDE NEW - SEE DETAIL 1-3 & 14-713.0.
- 17. SAW CUT UNUSED METAL POST ABOVE FINISH GRADE AND CAP THE OPENING. PROTECT THE CONCRETE AND WALL AROUND THE POST FROM ANY DAMAGE DURING REMOVAL.
- 18. SCHOOL ADHESIVE LOGO, REMOVE, DISTRICT TO REPLACE WITH NEW ADHESIVE LOGO / STICKER.
- 19. DAMAGED WOOD SIDING REMOVE AND REPLACE AS REQUIRED.
- 20. DAMAGED WOOD PLANK CEILING TO BE REMOVED AND REPLACED IN AREA INDICATED IN DRAWING.
- 21. ROOM SIGNAGE, REMOVE AND REPLACE WITH NEW SIGNAGE PER DISTRICT'S APPROVAL.
- 22. REMOVE WOOD LATTICE OVER LOUVERED OPENING.
- 23. HOLE IN BRICK MASONRY, FILL WITH COLORED GROUT TO MATCH BRICK.
- 24. DAMAGED ELECTRICAL BOX / SPEAKER TO BE REPLACED BY THE DISTRICT BEFORE PAINTING WORK BEGINS. REFER TO TYP. PAINTING AND CONSTRUCTION NOTES #5.
- 25. DAMAGED METAL FASCIA, REMOVE AND REPLACE WITH NEW METAL FASCIA TO MATCH EXISTING. REPLACE METAL DRIP EDGE AS REQUIRED WHERE DAMAGED.
- 26. WOOD PLANK / SKIRTING WITH LOOSE EDGE, NAIL / FIX AS REQUIRED.

COLOR NOTES

- COLOR / MANUFACTURER
- A ACCENT COLOR DUNN EDWARDS - "LAKE CENTER BLUE" EVSH50-2 EVERSHED EXT S/G
- B BASE COLOR DUNN EDWARDS - "THATCHED ROOF" DE6177
- C CLEAR SEALER "STONEONE" 44GF-1 BY EPMAR (2 COATS)
- D PAINT COLOR TO MATCH (E) BRICK FROM DUNN EDWARDS TO BE DECIDED BY DISTRICT

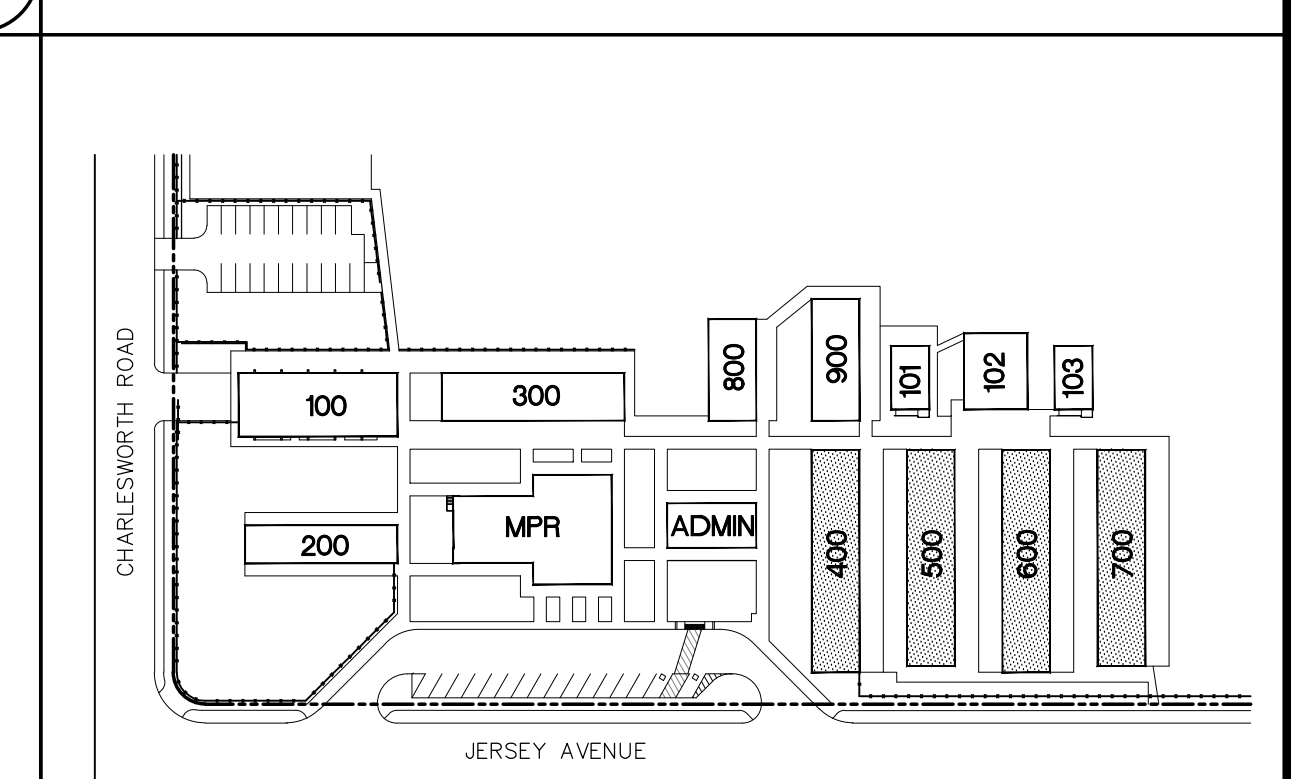
LEGEND

- 6 MATERIAL INDICATION
- A COLOR INDICATION

TYP. PAINTING + CONSTRUCTION NOTES

- 1. ALL REPAIR WORK INDICATED IN REPAIR KEYED NOTES TO BE DONE PRIOR TO START OF PAINTING WORK.
- 2. REFER TO SPECIFICATIONS FOR PAINTING PREPARATION OF DIFFERENT MATERIALS AND SURFACES PRIOR TO START OF PAINTING WORK.
- 3. FIELD VERIFY ALL CONDITIONS PRIOR TO PROCEEDING.
- 4. PRIOR TO THE START OF CONSTRUCTION OR ORDERING MATERIALS, PROVIDE THE ARCHITECT WITH A COMPLETE COLOR PALETTE OF ALL MATERIALS FOR REVIEW.
- 5. MASK ALL ELECTRICAL FIXTURES PRIOR TO PAINTING.

KEY PLAN



SCALE: NONE

Table with columns: NO., DATE, REVISION, BY.

Table with columns: DATE: 03/11/22, JOB NO.: 180104, DESIGNED BY: KC, DRAWN BY: KA, CHECKED BY: JP.

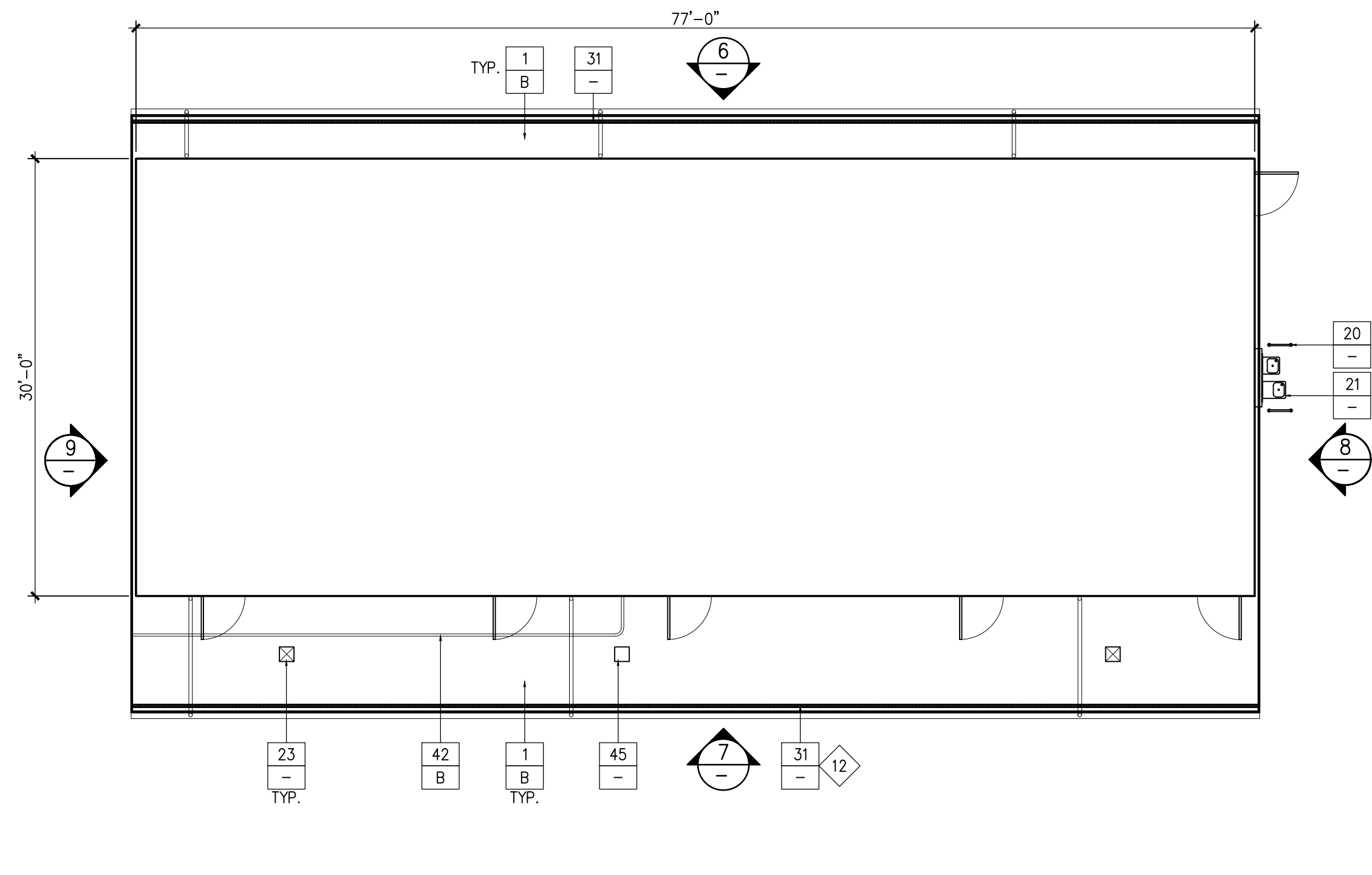
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P: (818) 841-2885 • F: (818) 841-7782 • www.ziembaprieto.com

EXTERIOR REFLECTED CEILING PLANS AND EXTERIOR ELEVATIONS FOR BUILDINGS 400, 500, 600 & 700
LITTLE LAKE CITY SCHOOL DISTRICT
DISTRICT WIDE PAINTING PROJECT
JERSEY AVENUE ELEMENTARY SCHOOL
9400 JERSEY AVENUE,
SANTA FE SPRINGS, CA 90670

LICENSED ARCHITECT
C-33216
RENEWAL DATE
NOV. 30, 2023
STATE OF CALIFORNIA

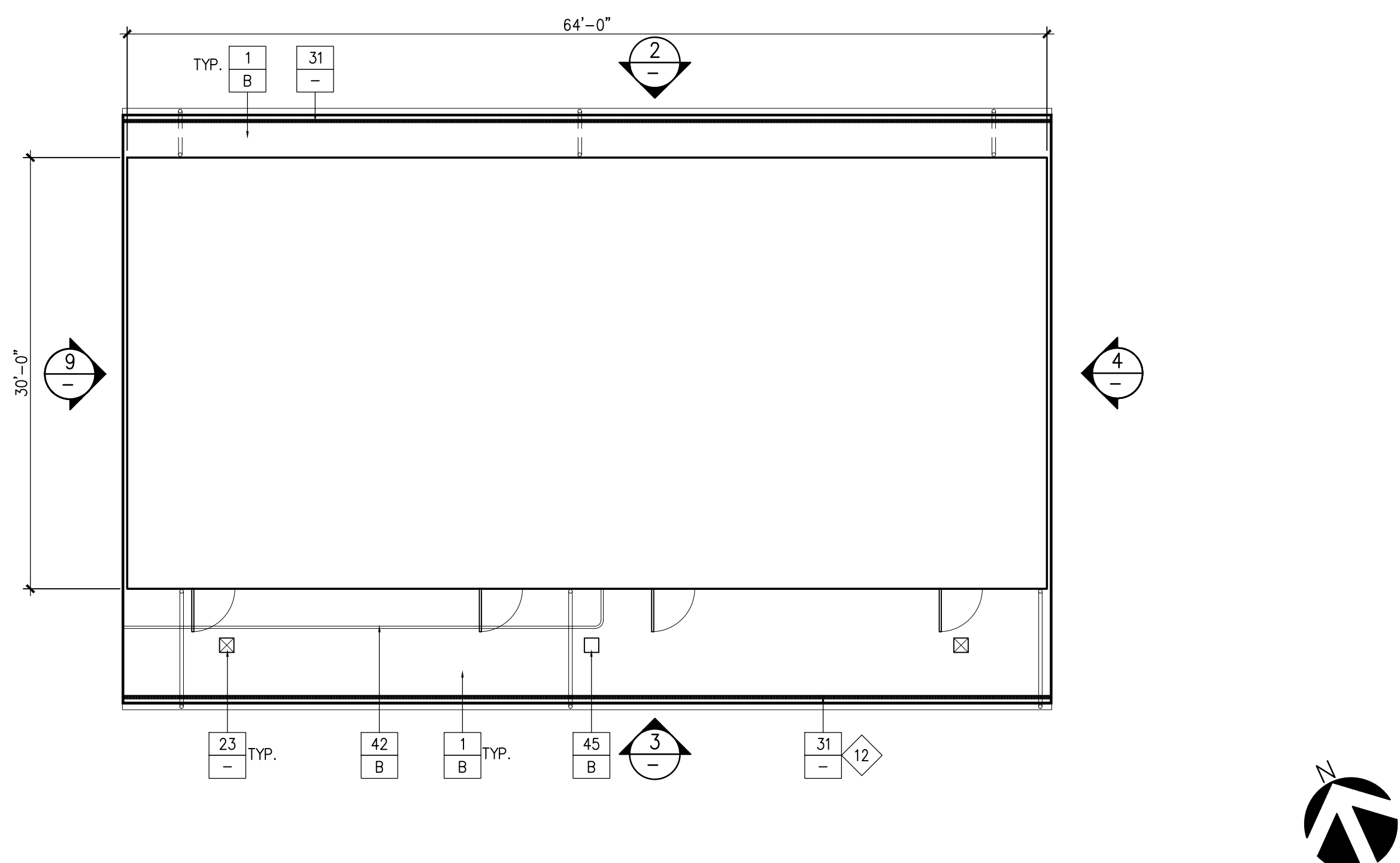
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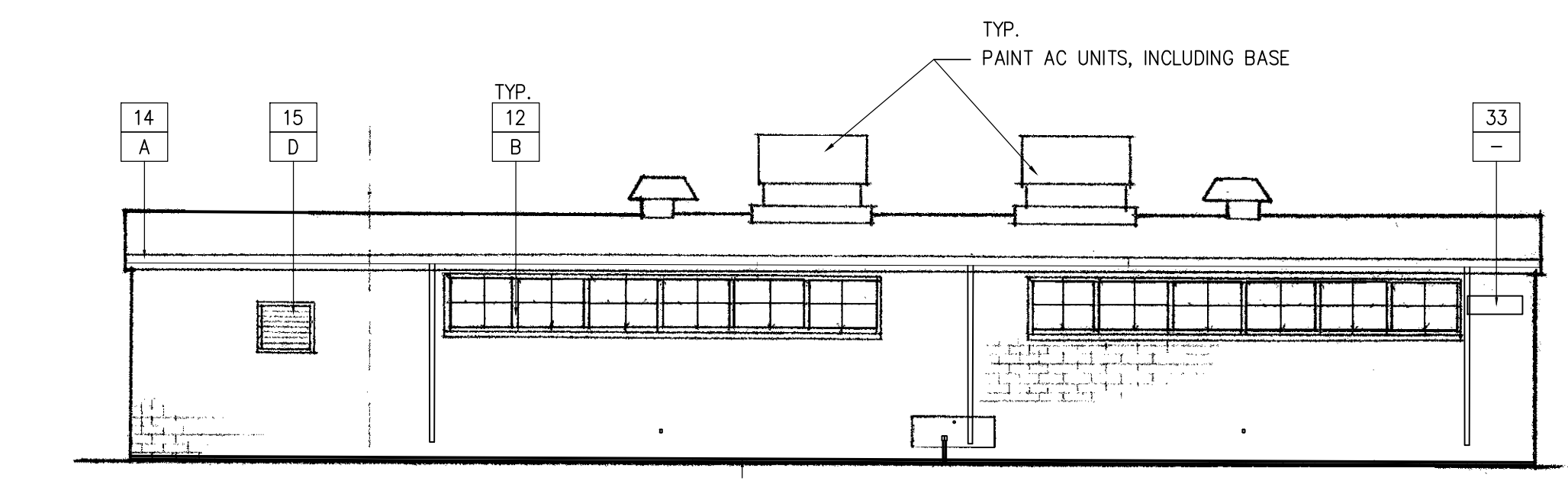
BUILDING 900 - EXTERIOR REFLECTED CEILING PLAN

SCALE: 1/8" = 1'-0" **5**



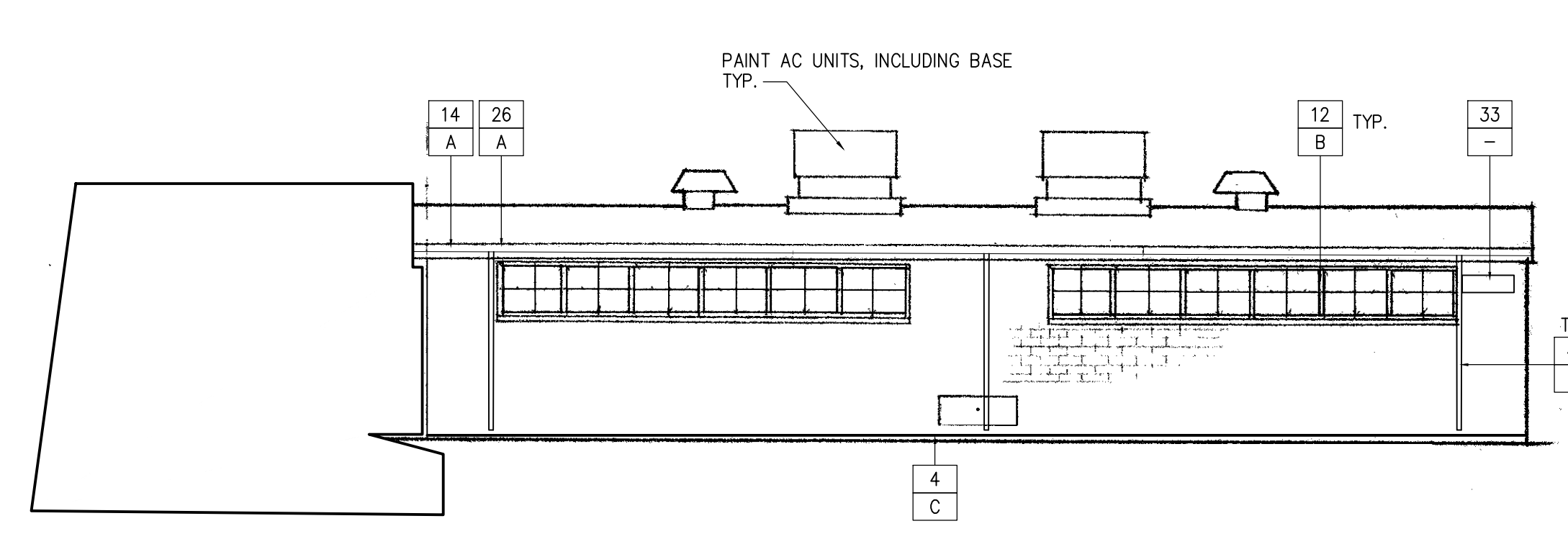
BUILDING 800 - EXTERIOR REFLECTED CEILING PLAN

SCALE: 1/8" = 1'-0" **1**



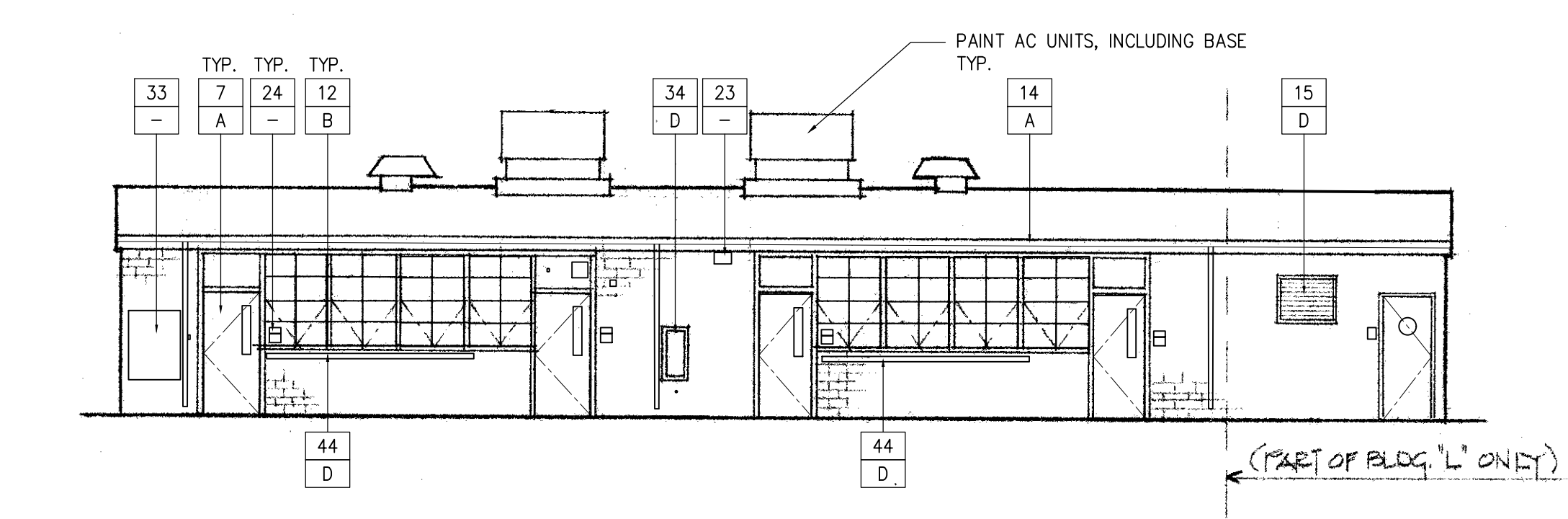
BUILDING 900 - NORTH ELEVATION

SCALE: 1/8" = 1'-0" **6**



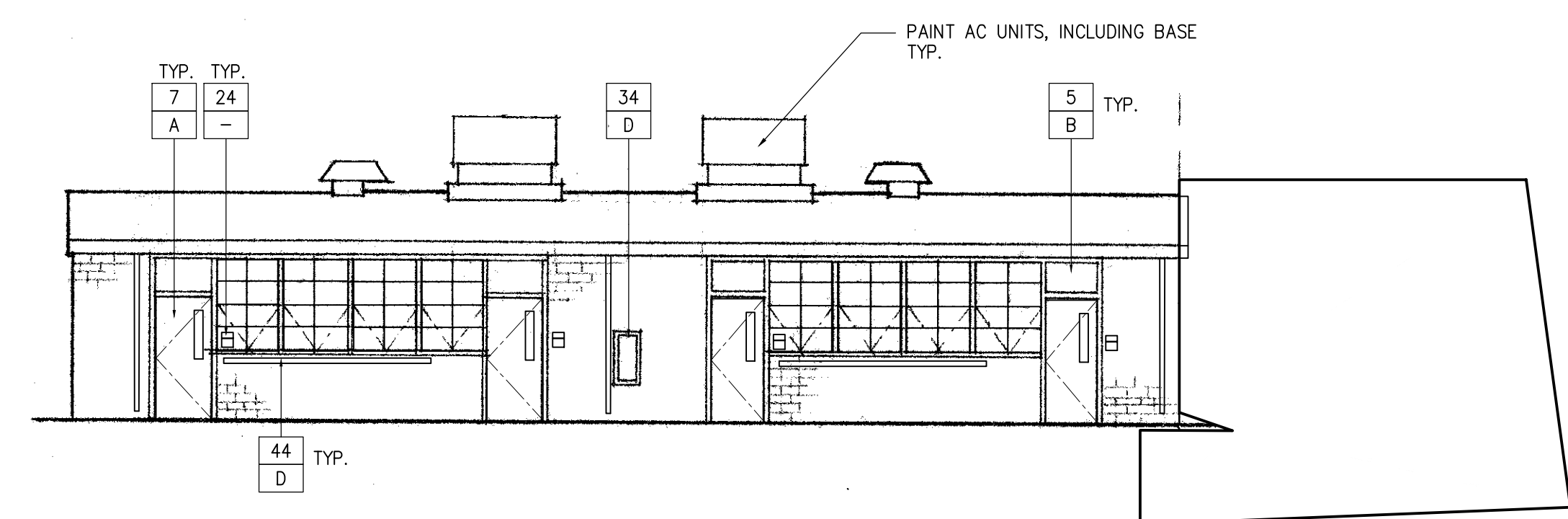
BUILDING 800 - NORTH ELEVATION

SCALE: 1/8" = 1'-0" **2**



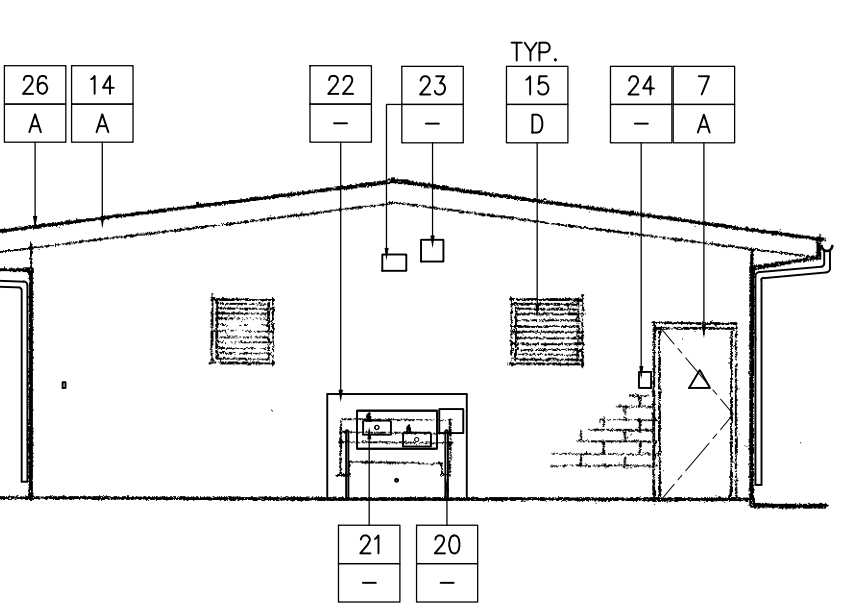
BUILDING 900 - SOUTH ELEVATION

SCALE: 1/8" = 1'-0" **7**



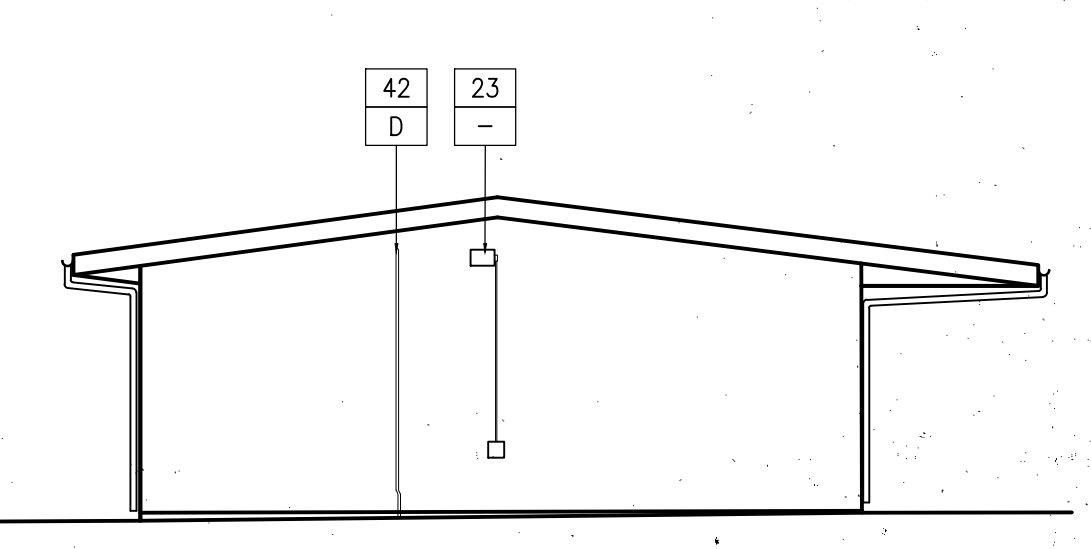
BUILDING 800 - SOUTH ELEVATION

SCALE: 1/8" = 1'-0" **3**



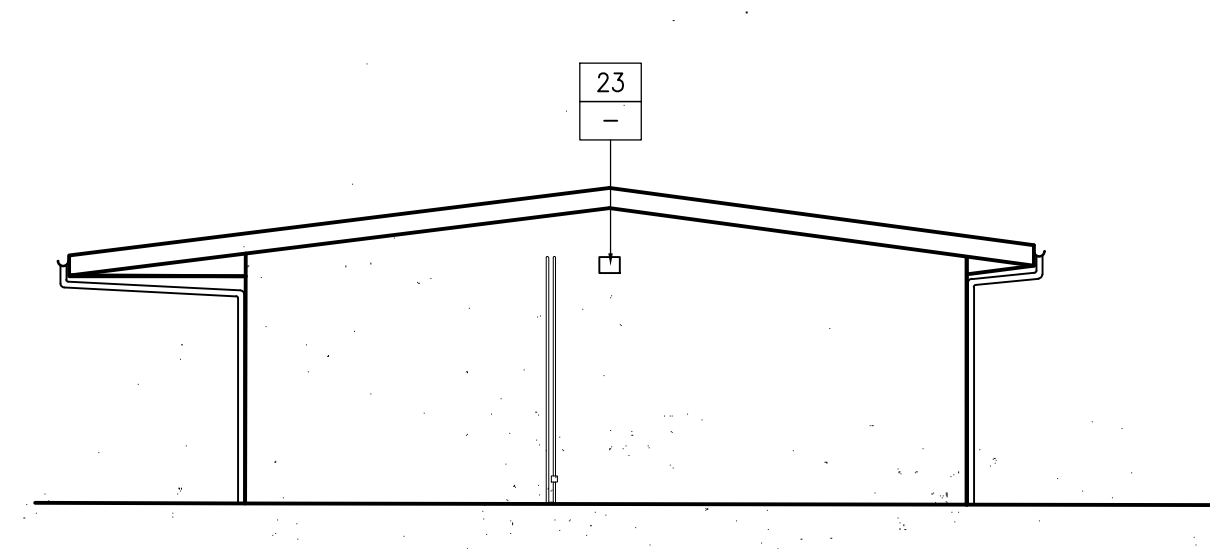
BUILDING 900 - EAST ELEVATION

SCALE: 1/8" = 1'-0" **8**



BUILDING 800 + 900 - WEST ELEV.

SCALE: 1/8" = 1'-0" **9**



BUILDING 800 - EAST ELEVATION

SCALE: 1/8" = 1'-0" **4**

CONSTRUCTION KEYED NOTES

(ALL ITEMS INDICATED ARE EXISTING UNLESS NOTED.)

1	PLASTER	26	METAL FLASHING/COPING
2	BRICK - SEALED / EXPOSED	27	STEEL FRAMING
3	BRICK - PAINTED	28	METAL GUTTER
4	CONCRETE	29	SLIPPER
5	PLYWOOD PANELING ON WALL / UNDERSIDE OF ROOF OVERHANG	30	STEEL / SHEET METAL DOWNSPOUT
6	STOREFRONT SYSTEM	31	VENT WITH METAL MESH SCREEN / GRATE
7	METAL DOOR / FRAME	32	BULLETIN BOARDS/LETTERING
8	WOOD DOOR / FRAME	33	FIRE EXTINGUISHER / FIRE HOSE ALDOVE
9	DOOR - STOREFRONT	34	CHAINLINK FENCING/GATES - METAL SCREEN
10	WOOD TRIM / FRAME	35	WROUGHT IRON FENCING/GATES
11	WINDOW FRAME - WOOD	36	UNDERSIDE OF ROOF OVERHANG / COVERED WALKWAY - T&G SHIP LASH SIDING
12	WINDOW FRAME - METAL	37	UNDERSIDE OF ROOF OVERHANG / COVERED WALKWAY - CEMENT PLASTER
13	GLAZED WINDOW SYSTEM - METAL	38	UNDERSIDE OF ROOF OVERHANG / COVERED WALKWAY - EXPOSED WOOD FRAMING
14	WOOD FASCIA	39	UNDERSIDE OF COVERED WALKWAY / LUNCH SHELTER - CORRUGATED METAL
15	LOUVER - METAL / WOOD	40	BARB WIRE
16	WOOD SIDING	41	REPLACE PULL BOX COVER IF RUSTED.
17	PLANTER - CONCRETE	42	NEW ROOF GUTTER
18	PLANTER - BRICK	43	WOOD BACKPACK HANGER
19	STEEL TUBE/PIPE COLUMN	44	METAL PLATE
20	PIPE RAILING	45	NEW METAL DOWNSPOUT
21	DRINKING FOUNTAIN	46	STOREFRONT GLASS PANE PAINTED TO MATCH CAMPUS
22	CERAMIC TILE WAINSCOT	47	WOOD BEAM
23	LIGHT, SPEAKER, ELECTRICAL BOX ETC.	48	METAL FASCIA
24	SIGNAGE, REPLACE AS REQUIRED TO MATCH CAMPUS	49	
25	WOOD SKIRTING		

REPAIR KEYED NOTES

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- DAMAGED / CRACKED BRICK / CONCRETE - REPLACE OR PATCH TO MATCH (E).
- EXPOSED CONCRETE LINTEL - REPAIR CRACKS IF ANY - PAINT TO MATCH ADJACENT BRICK COLOR.
- DAMAGED WOOD PANELING - REMOVE AND REPLACE WITH NEW WOOD PANELING.
- CRACKED / DAMAGED WINDOW PANE - REMOVE AND REPLACE WITH NEW GLASS TO MATCH EXISTING.
- DAMAGED WOOD FASCIA - REMOVE AND REPLACE WITH NEW WOOD FASCIA TO MATCH EXISTING. REPLACE METAL DRIP EDGE AS REQUIRED WHERE DAMAGED. DETAIL 8/13.0 SIM.
- DAMAGED METAL FLASHING / COPING - REMOVE AND REPLACE WITH NEW FLASHING / COPING TO MATCH EXISTING.
- DAMAGED METAL GUTTER - REMOVE AND REPLACE AS NEEDED WITH NEW METAL GUTTER - DETAIL 8/13.0 PATCH WHERE GUTTER WAS REPLACED AND PATCH ROOFING AS NEEDED.
- DAMAGED DOWNSPOUT - REMOVE AND REPLACE AS NEEDED WITH NEW DOWNSPOUT TO MATCH (E).
- DOWNSPOUT PROVIDE MISSING / DAMAGED CONNECTION FROM GUTTER TO DOWNSPOUT - SEE DETAIL 1/13.0.
- DAMAGED VENT REMOVE AND REPLACE WITH NEW TO MATCH (E). FOR SOFFIT VENT, REMOVE PORTION OF ADJACENT PLASTER OR WOOD AS REQUIRED AND PROVIDE NEW PLASTER / WOOD WHERE REMOVED - SEE DETAIL 1/13.0.
- DAMAGED WOOD SKIRTING REMOVE AND REPLACE WITH NEW SKIRTING AS NEEDED TO MATCH (E).
- REMOVE AND REPLACE DAMAGED BACKPACK HANGER WOOD PLATE.
- REMOVE (E) LOUVERED OPENING AND PROVIDE NEW - SEE DETAIL 13 & 14/13.0.
- SAW-CUT UNUSED METAL POST ABOVE FINISH GRADE AND CAP THE OPENING - PROTECT THE CONCRETE AND WALL AROUND THE POST FROM ANY DAMAGE DURING REMOVAL.
- SCHOOL ADHESIVE LOGO - REMOVE - DISTRICT TO REPLACE WITH NEW ADHESIVE LOGO / STICKER.
- DAMAGED WOOD SIDING REMOVE AND REPLACE AS REQUIRED.
- DAMAGED WOOD PLANK CEILING TO BE REMOVED AND REPLACED IN AREA INDICATED IN DRAWING.
- ROOM SIGNAGE - REMOVE AND REPLACE WITH NEW SIGNAGE PER DISTRICT'S APPROVAL.
- REMOVE WOOD LATTICE OVER LOUVERED OPENING.
- HOLE IN BRICK MASONRY - FILL WITH COLORED GROUT TO MATCH BRICK.
- DAMAGED ELECTRICAL BOX / SPEAKER TO BE REPLACED BY THE DISTRICT BEFORE PAINTING WORK BEGINS - REFER TO TYP. PAINTING AND CONSTRUCTION NOTES #5.
- DAMAGED METAL FASCIA - REMOVE AND REPLACE WITH NEW METAL FASCIA TO MATCH EXISTING - REPLACE METAL DRIP EDGE AS REQUIRED WHERE DAMAGED.
- WOOD PLANK / SKIRTING WITH LOOSE EDGE - NAIL / FIX AS REQUIRED.

COLOR NOTES

COLOR / MANUFACTURER

A	ACCENT COLOR DUNN EDWARDS - "LAKE CENTER BLUE" EVSH50-2 EVERSHIELD EXT S/G
B	BASE COLOR DUNN EDWARDS - "THATCHED ROOF" DE6177
C	GLAZER SEALER "STONEGONE" 446-1 BY EPMAR (2-GOATS)
D	PAINT COLOR TO MATCH (E) BRICK FROM DUNN EDWARDS TO BE DECIDED BY DISTRICT

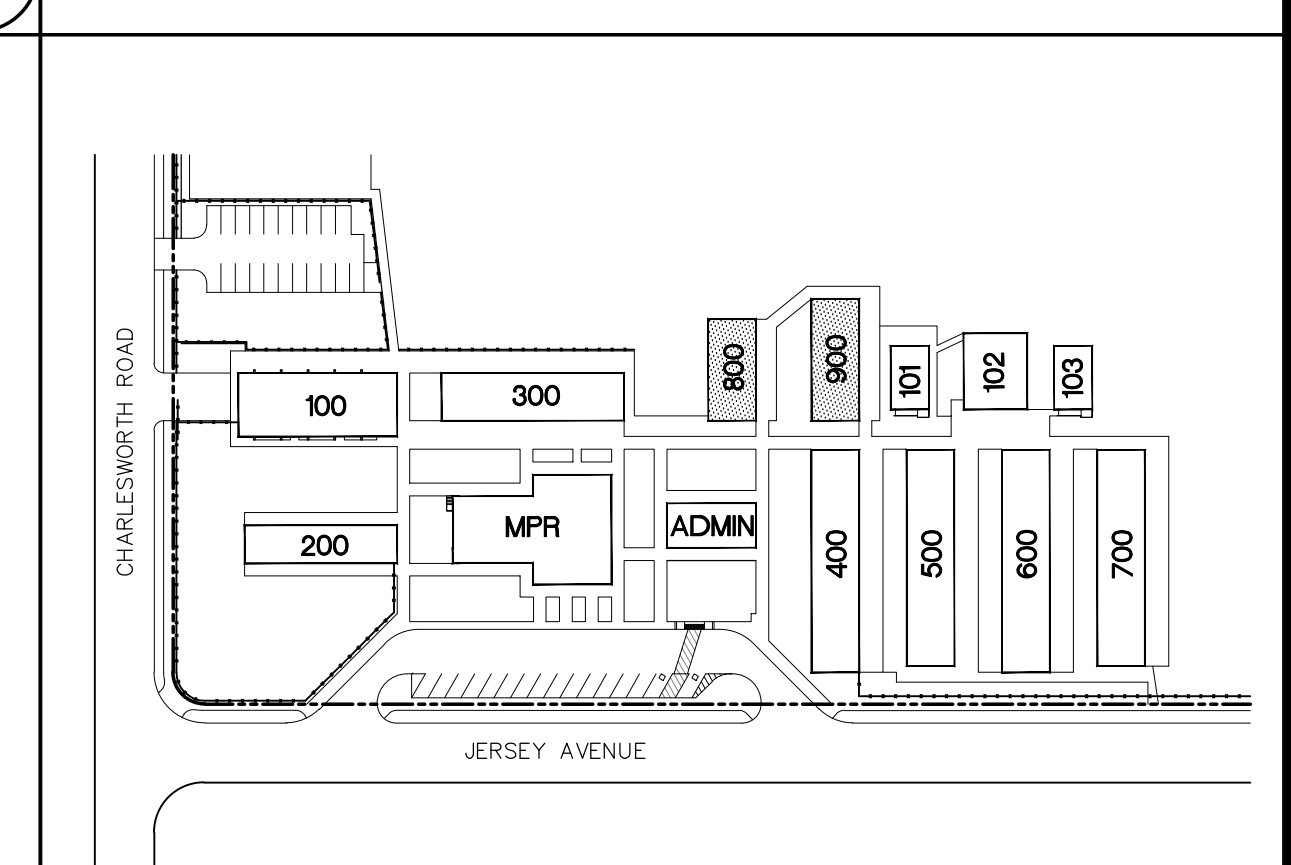
LEGEND

6	MATERIAL INDICATION
A	COLOR INDICATION

TYP. PAINTING + CONSTRUCTION NOTES

- ALL REPAIR WORK INDICATED IN REPAIR KEYED NOTES TO BE DONE PRIOR TO START OF PAINTING WORK.
- REFER TO SPECIFICATIONS FOR PAINTING PREPARATION OF DIFFERENT MATERIALS AND SURFACES PRIOR TO START OF PAINTING WORK.
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- PRIOR TO THE START OF CONSTRUCTION OR ORDERING MATERIALS, PROVIDE THE ARCHITECT WITH A COMPLETE COLOR PALLETTE OF ALL MATERIALS FOR REVIEW.
- MASK ALL ELECTRICAL FIXTURES PRIOR TO PAINTING.

KEY PLAN

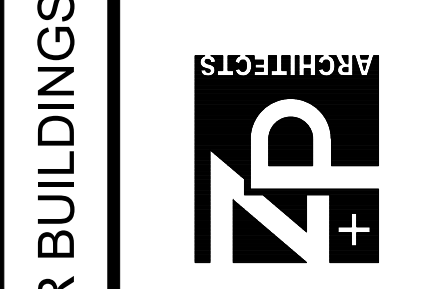


SCALE: NONE

NO.	DATE	REVISION	BY

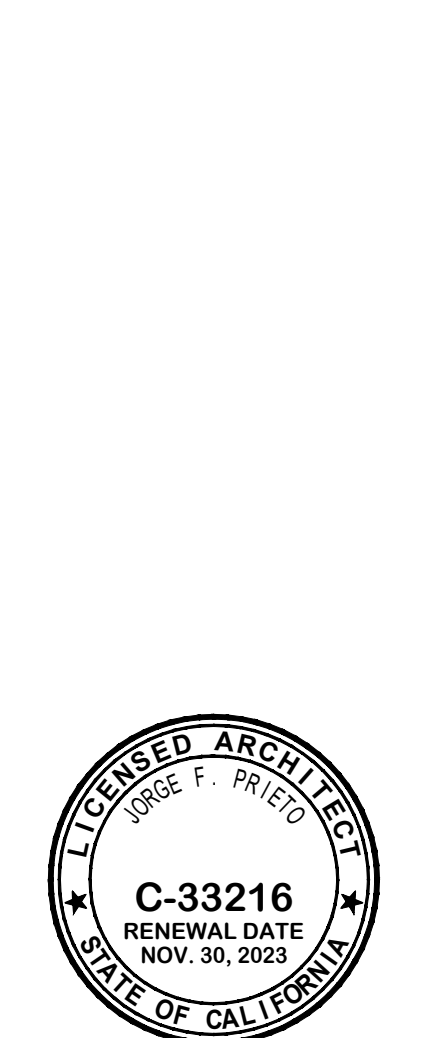
DATE: 03/11/22	JOB NO.: 180104	DESIGNED BY: KC	DRAWN BY: KA	CHECKED BY: JP
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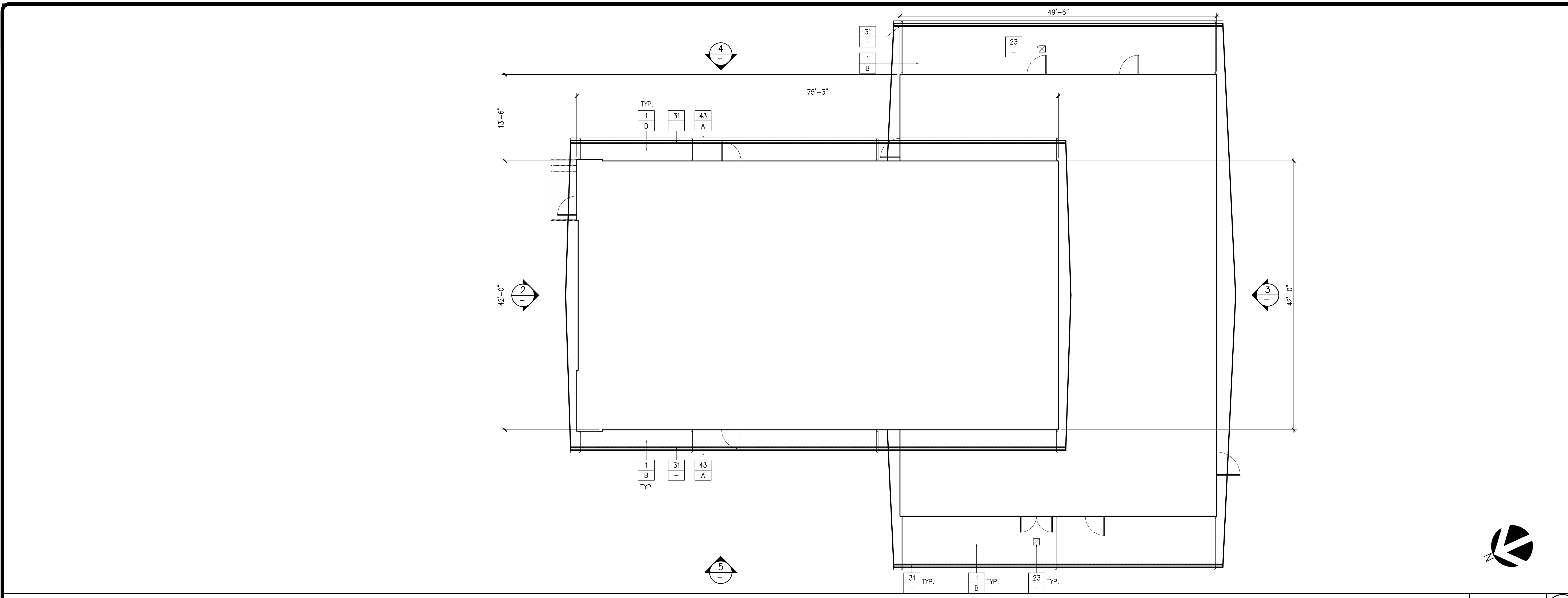
EXTERIOR REFLECTED CEILING PLANS AND EXTERIOR ELEVATIONS FOR BUILDINGS 800 & 900
 LITTLE LAKE CITY SCHOOL DISTRICT
 10515 S. PIONEER BLVD.
 SANTA FE SPRINGS, CA 90670

DISTRICT WIDE PAINTING PROJECT
 JERSEY AVENUE ELEMENTARY SCHOOL
 9400 JERSEY AVENUE,
 SANTA FE SPRINGS, CA 90670

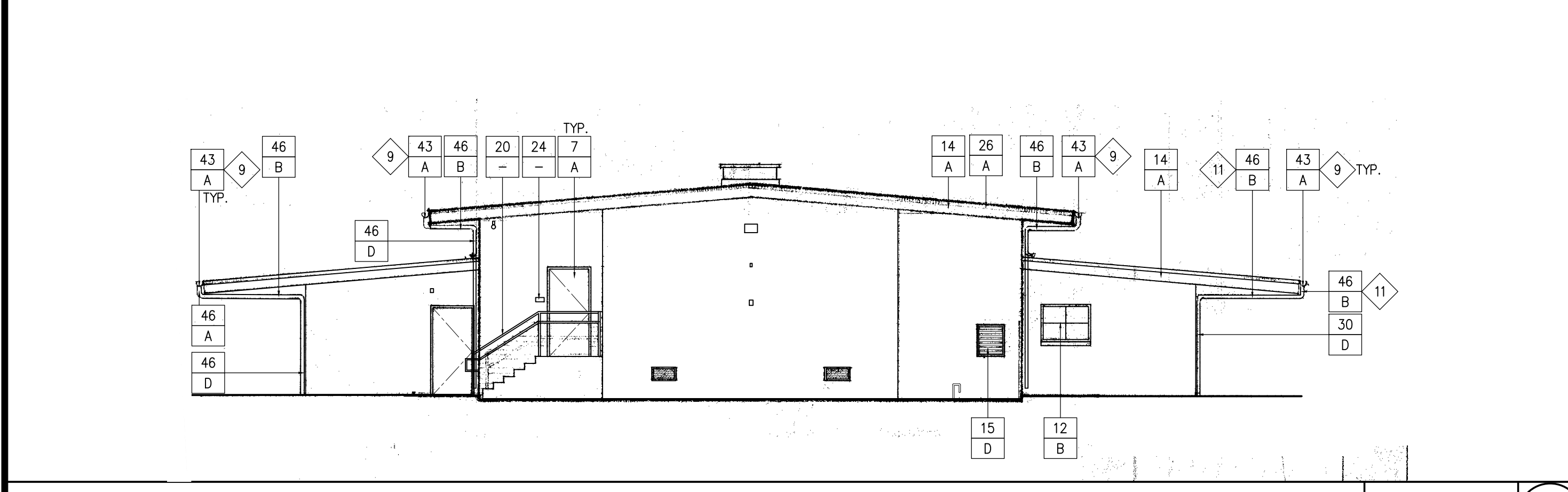


SHEET NO.
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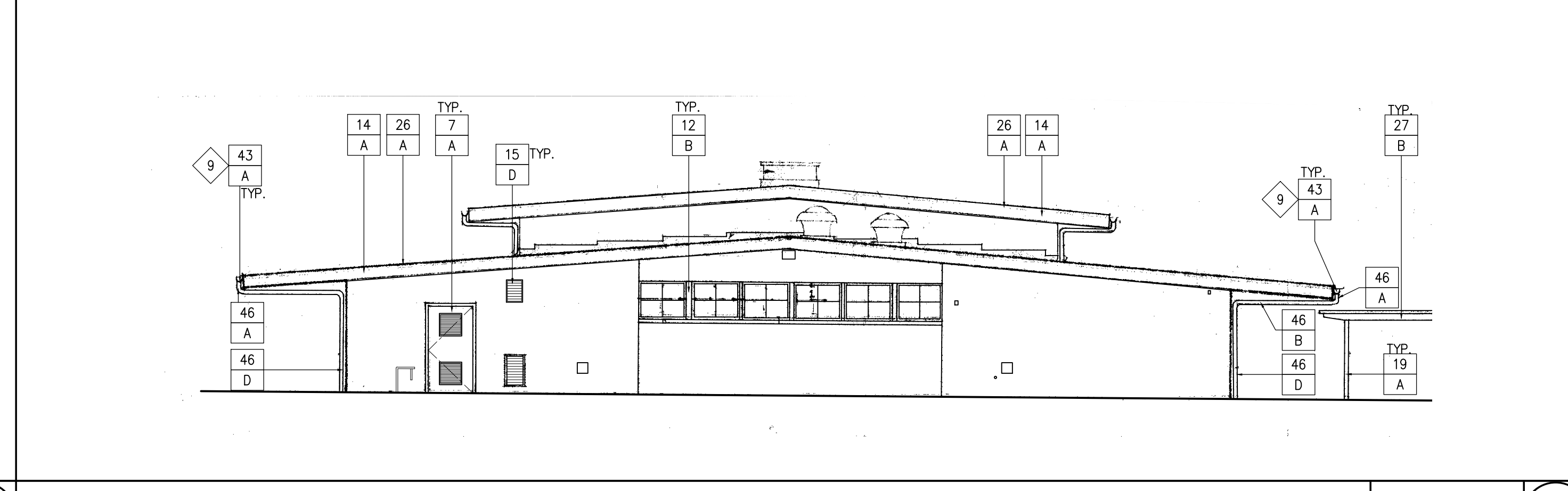
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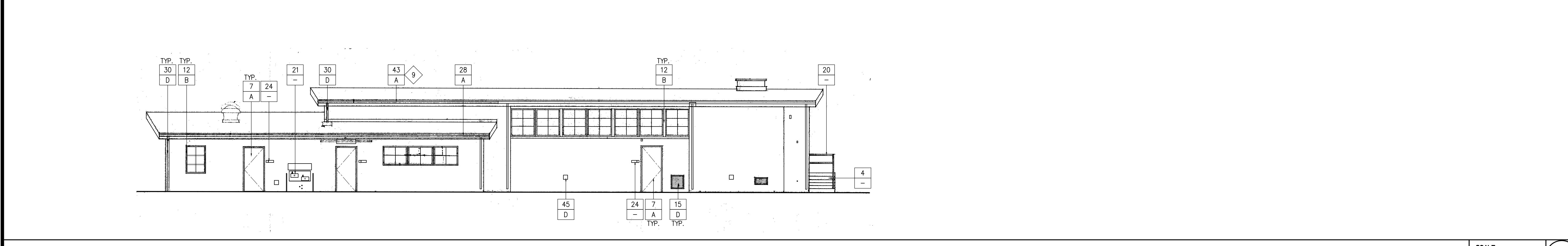
MULTIPURPOSE BUILDING - EXTERIOR REFLECTED CEILING PLAN



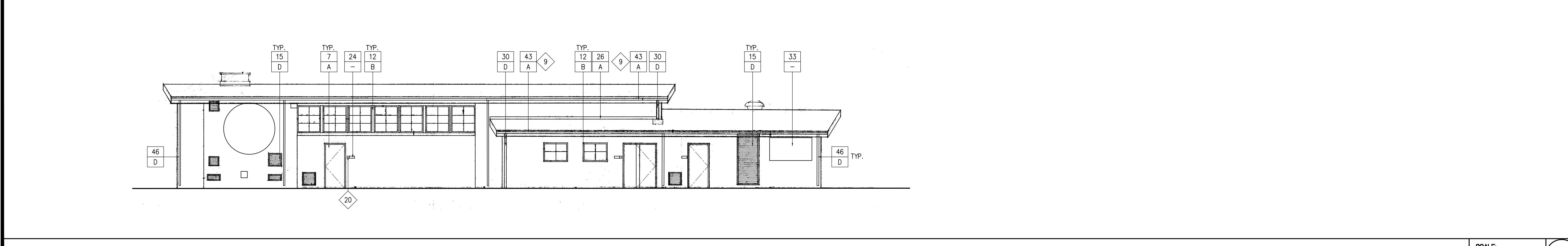
MULTIPURPOSE BUILDING - NORTH ELEVATION



MULTIPURPOSE BUILDING - SOUTH ELEVATION



MULTIPURPOSE BUILDING - EAST ELEVATION



MULTIPURPOSE BUILDING - WEST ELEVATION

CONSTRUCTION KEYED NOTES

(ALL ITEMS INDICATED ARE EXISTING UNLESS NOTED.)

1	PLASTER	26	METAL FLASHING/COPING
2	BRICK - SEALED / EXPOSED	27	STEEL FRAMING
3	BRICK - PAINTED	28	METAL GUTTER
4	CONCRETE	29	SLIPPER
5	PLYWOOD PANELING ON WALL / UNDERSIDE OF ROOF OVERHANG	30	STEEL / SHEET METAL DOWNSPOUT
6	STOREFRONT SYSTEM	31	VENT WITH METAL MESH SCREEN / GRATE
7	METAL DOOR / FRAME	32	BULLETIN BOARDS/SIGNAGE, ETC
8	WOOD DOOR / FRAME	33	BULLETIN BOARD LETTERING
9	DOOR - STOREFRONT	34	FIRE EXTINGUISHER / FIRE HOSE ALDOWE
10	WOOD TRIM / FRAME	35	CHAINLINK FENCING/GATES - METAL SCREEN
11	WINDOW FRAME - WOOD	36	WROUGHT-IRON FENCING/GATES
12	WINDOW FRAME - METAL	37	UNDERSIDE OF ROOF OVERHANG / COVERED WALKWAY - EXG SHIP-LAS SIDING
13	GLAZED STOREFRONT WINDOW SYSTEM - METAL	38	UNDERSIDE OF ROOF OVERHANG / COVERED WALKWAY - CEMENT PLASTER
14	WOOD FASCIA	39	UNDERSIDE OF ROOF OVERHANG / COVERED WALKWAY - EXPOSED WOOD FRAMING
15	LOUVER - METAL / WOOD	40	UNDERSIDE OF COVERED WALKWAY / LUNCH SHELTER - CORRUGATED METAL
16	WOOD SIDING	41	BOARD - UNIT
17	PLANTER - CONCRETE	42	REPLACE PULL-BOX COVER IF RUSTED
18	PLANTER - BRICK	43	NEW ROOF GUTTER
19	STEEL TUBE/PIPE COLUMN	44	WOOD BACKPACK HANGER
20	PIPE RAILING	45	METAL PLATE
21	DRINKING FOUNTAIN	46	NEW METAL DOWNSPOUT
22	GERANUM TILE WAINSCOTT	47	STOREFRONT GLASS PANE PAINTED TO MATCH CAMPUS
23	LIGHT, SPEAKER, ELECTRICAL BOX ETC.	48	WOOD BEAM
24	SIGNAGE, REPLACE AS REQUIRED TO MATCH CAMPUS	49	METAL FASCIA
25	WOOD SKIRTING		

REPAIR KEYED NOTES

- AREA OF DAMAGED / CRACKED PLASTER - REPAIR AND PATCH WITH NEW PLASTER TO MATCH (E).
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- DAMAGED / CRACKED BRICK / CONCRETE - REPLACE OR PATCH TO MATCH (E).
- EXPOSED CONCRETE LINTEL - REPAIR CRACKS IF ANY - PAINT TO MATCH ADJACENT BRICK COLOR.
- DAMAGED WOOD PANELING - REMOVE AND REPLACE WITH NEW WOOD PANELING.
- CRACKED / DAMAGED WINDOW PANE - REMOVE AND REPLACE WITH NEW GLASS TO MATCH EXISTING.
- DAMAGED WOOD FASCIA - REMOVE AND REPLACE WITH NEW WOOD FASCIA TO MATCH EXISTING. REPLACE METAL DRIP EDGE AS REQUIRED WHERE DAMAGED. DETAIL 8/13.0 SIM.
- DAMAGED METAL FLASHING / COPING - REMOVE AND REPLACE WITH NEW FLASHING / COPING TO MATCH EXISTING.
- DAMAGED METAL GUTTER - REMOVE AND REPLACE AS NEEDED WITH NEW METAL GUTTER. DETAIL 1/13.0 PATCH WHERE GUTTER WAS REPLACED AND PATCH ROOFING AS NEEDED.
- DAMAGED DOWNSPOUT - REMOVE AND REPLACE AS NEEDED WITH NEW DOWNSPOUT TO MATCH (E).
- DOWNSPOUT - PROVIDE MISSING / DAMAGED CONNECTION FROM GUTTER TO DOWNSPOUT. SEE DETAIL 1/13.0.
- DAMAGED VENT - REMOVE AND REPLACE WITH NEW TO MATCH (E) - FOR SOFFIT VENT - REMOVE PORTION OF ADJACENT PLASTER OR WOOD AS REQUIRED AND PROVIDE NEW PLASTER / WOOD WHERE REMOVED - SEE DETAIL 1/13.0.
- DAMAGED WOOD SKIRTING - REMOVE AND REPLACE WITH NEW SKIRTING AS NEEDED TO MATCH (E).
- REMOVE AND REPLACE DAMAGED BACKPACK HANGER WOOD PLATE.
- REMOVE (E) LOUVERED OPENING AND PROVIDE NEW - SEE DETAIL 13 & 14/13.0.
- SAW-CUT UNUSED METAL POST ABOVE FINISH GRADE AND CAP THE OPENING - PROTECT THE CONCRETE AND WALL AROUND THE POST FROM ANY DAMAGE DURING REMOVAL.
- SCHOOL ADHESIVE LOGO, REMOVE, DISTRICT TO REPLACE WITH NEW ADHESIVE LOGO / STICKER.
- DAMAGED WOOD SIDING - REMOVE AND REPLACE AS REQUIRED.
- DAMAGED WOOD PLANK CEILING TO BE REMOVED AND REPLACED IN AREA INDICATED IN DRAWING.
- ROOM SIGNAGE - REMOVE AND REPLACE WITH NEW SIGNAGE PER DISTRICT'S APPROVAL.
- REMOVE WOOD LATTICE OVER LOUVERED OPENING.
- HOLE IN BRICK MASONRY - FILL WITH COLORED GROUT TO MATCH BRICK.
- DAMAGED ELECTRICAL BOX / SPEAKER TO BE REPLACED BY THE DISTRICT BEFORE PAINTING WORK BEGINS - REFER TO TYP. PAINTING AND CONSTRUCTION NOTES #5.
- DAMAGED METAL FASCIA - REMOVE AND REPLACE WITH NEW METAL FASCIA TO MATCH EXISTING - REPLACE METAL DRIP EDGE AS REQUIRED WHERE DAMAGED.
- WOOD PLANK / SKIRTING WITH LOOSE EDGE - NAIL / FIX AS REQUIRED.

COLOR NOTES

COLOR / MANUFACTURER

A	ACCENT COLOR DUNN EDWARDS - "LAKE CENTER BLUE" EVSH50-2 EVERSHED EXT S/G
B	BASE COLOR DUNN EDWARDS - "THATCHED ROOF" DE6177
C	GLASS SEALER "STONEONE" 44GF-1 BY EPMAR (2-GOATS)
D	PAINTE COLOR TO MATCH (E) BRICK FROM DUNN EDWARDS TO BE DECIDED BY DISTRICT

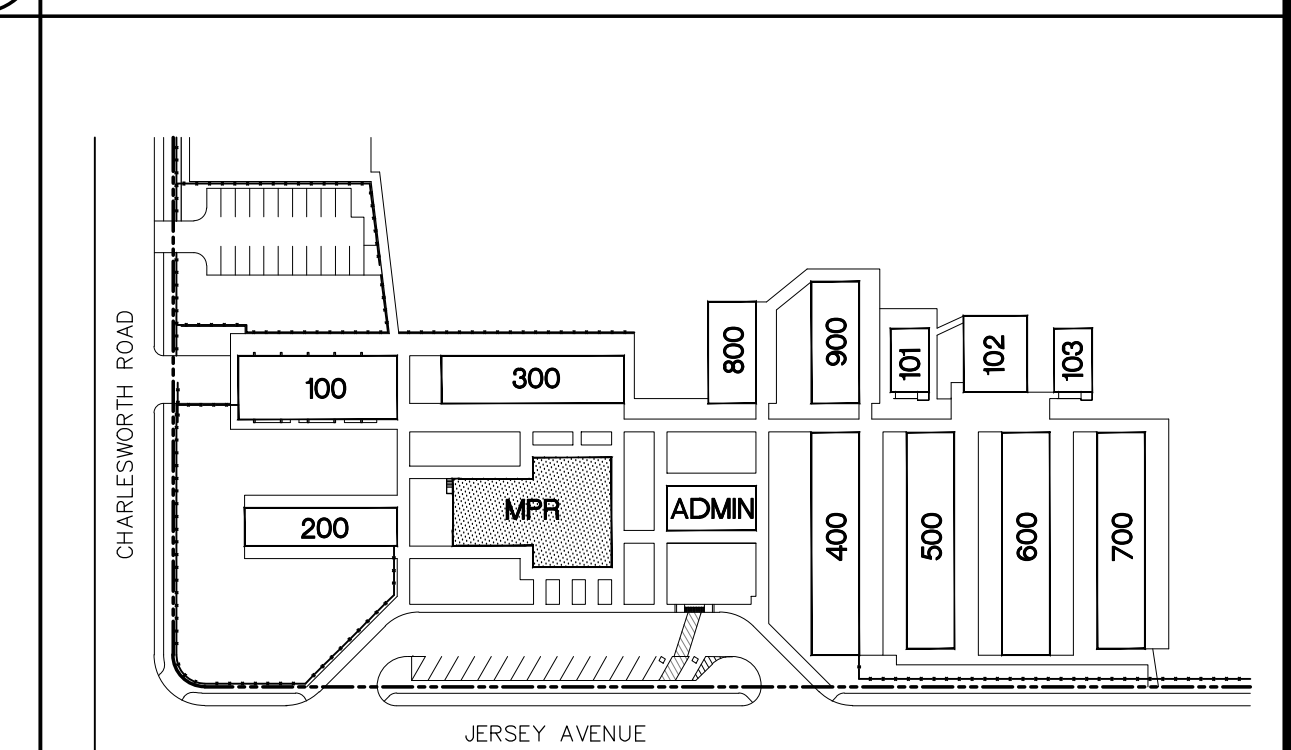
LEGEND

6	MATERIAL INDICATION
A	COLOR INDICATION

TYP. PAINTING + CONSTRUCTION NOTES

- ALL REPAIR WORK INDICATED IN REPAIR KEYED NOTES TO BE DONE PRIOR TO START OF PAINTING WORK.
- REFER TO SPECIFICATIONS FOR PAINTING PREPARATION OF DIFFERENT MATERIALS AND SURFACES PRIOR TO START OF PAINTING WORK.
- FIELD VERIFY ALL CONDITIONS PRIOR TO PROCEEDING.
- PRIOR TO THE START OF CONSTRUCTION OR ORDERING MATERIALS, PROVIDE THE ARCHITECT WITH A COMPLETE COLOR PALLETTE OF ALL MATERIALS FOR REVIEW.
- MASK ALL ELECTRICAL FIXTURES PRIOR TO PAINTING.

KEY PLAN



SCALE: NONE

NO.	DATE	REVISION	BY

DATE: 03/11/22
 JOB NO.: 180104
 DESIGNED BY: KC
 DRAWN BY: KA
 CHECKED BY: JP

ZEMBA + PRIETO ARCHITECTS
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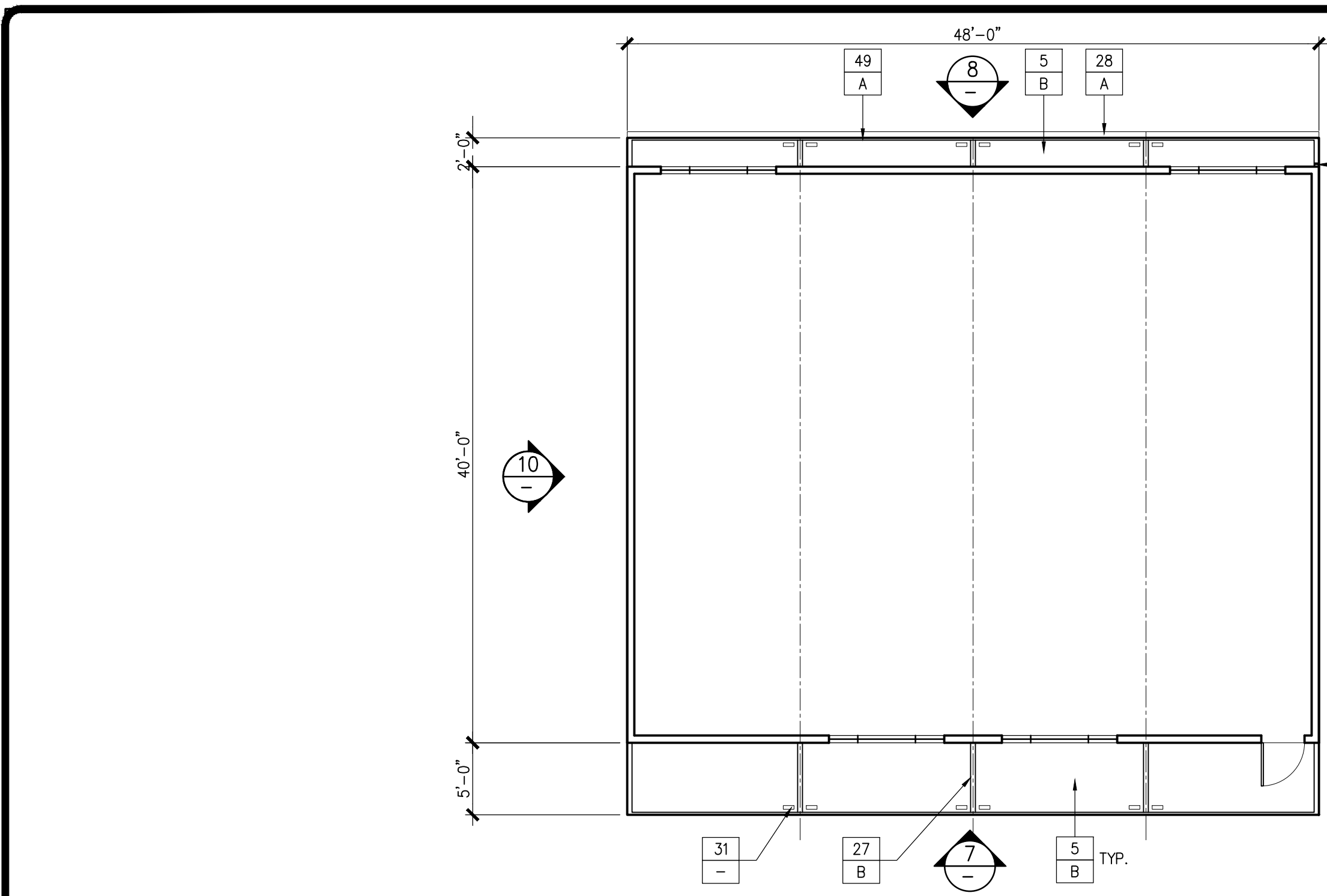
EXTERIOR REFLECTED CEILING PLANS AND EXTERIOR ELEVATIONS FOR MULTIPURPOSE BUILDING
 LITTLE LAKE CITY SCHOOL DISTRICT
 10515 S. PIONEER BLVD.
 SANTA FE SPRINGS, CALIFORNIA 90670

DISTRICT WIDE PAINTING PROJECT
 JERSEY AVENUE ELEMENTARY SCHOOL
 10515 PIONEER BLVD.
 SANTA FE SPRINGS, CALIFORNIA 90670

LICENSED ARCHITECT
 C-33216
 RENEWAL DATE
 NOV. 30, 2023
 STATE OF CALIFORNIA

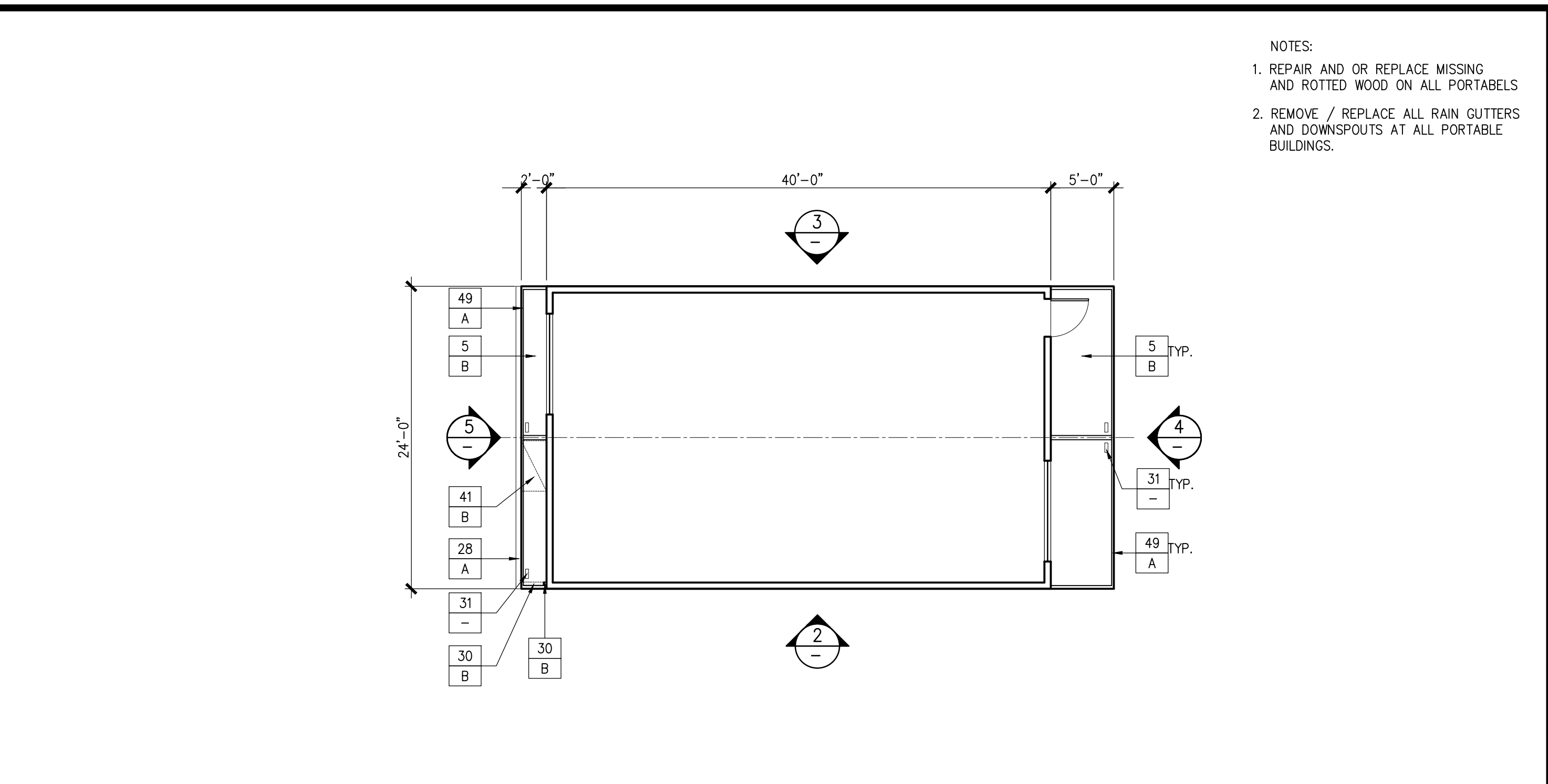
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NOTES:
 1. REPAIR AND OR REPLACE MISSING AND ROTTED WOOD ON ALL PORTABLES
 2. REMOVE / REPLACE ALL RAIN GUTTERS AND DOWNSPOUTS AT ALL PORTABLE BUILDINGS.

40X48 RELO - EXTERIOR REFLECTED CEILING PLAN SCALE: 1/8" = 1'-0" 6



NOTES:
 1. REPAIR AND OR REPLACE MISSING AND ROTTED WOOD ON ALL PORTABLES
 2. REMOVE / REPLACE ALL RAIN GUTTERS AND DOWNSPOUTS AT ALL PORTABLE BUILDINGS.

24X40 RELO - EXTERIOR REFLECTED CEILING PLAN SCALE: 1/8" = 1'-0" 1

CONSTRUCTION KEYED NOTES

[ALL ITEMS INDICATED ARE EXISTING UNLESS NOTED.]	
1	PLASTER
2	BRICK - SEALED / EXPOSED
3	BRICK - PAINTED
4	CONCRETE
5	PLYWOOD PANELING ON WALL / UNDERSIDE OF ROOF OVERHANG
6	STOREFRONT SYSTEM
7	METAL DOOR / FRAME
8	WOOD DOOR / FRAME
9	DOOR - STOREFRONT
10	WOOD TRIM / FRAME
11	WINDOW FRAME - WOOD
12	WINDOW FRAME - METAL
13	GLAZED WINDOW SYSTEM - METAL
14	WOOD FASCIA
15	LOUVER - METAL / WOOD
16	WOOD SIDING
17	PLANTER - CONCRETE
18	PLANTER - BRICK
19	STEEL TUBE / PIPE COLUMN
20	PIPE RAILING
21	DRINKING FOUNTAIN
22	CERAMIC TILE WAINSCOT
23	LIGHT, SPEAKER, ELECTRICAL BOX ETC.
24	SIGNAGE - REPLACE AS REQUIRED TO MATCH CAMPUS
25	WOOD SKIRTING
26	METAL FRAMING / COPING
27	STEEL FLASHING
28	METAL GUTTER
29	SQUIPPER
30	STEEL / SHEET METAL DOWNSPOUT
31	VENT WITH METAL MESH SCREEN / GRATE
32	SCHOOL NAME - ADHERED METAL LETTERING
33	BULLETIN BOARDS / SIGNAGE, ETC.
34	FIRE EXTINGUISHER / FIRE HOSE ALDOVE - CHAINLINK FENCING / GATES - METAL SCREEN
35	WROUGHT-IRON FENCING / GATES
36	UNDERSIDE OF ROOF OVERHANG / COVERED WALKWAY - TIG SHIP LASH SIDING
37	UNDERSIDE OF ROOF OVERHANG / COVERED WALKWAY - CEMENT PLASTER
38	UNDERSIDE OF ROOF OVERHANG / COVERED WALKWAY - EXPOSED WOOD FRAMING
39	UNDERSIDE OF COVERED WALKWAY / LUNCH SHELTER - CORRUGATED METAL
40	UNDERSIDE OF COVERED WALKWAY / LUNCH SHELTER - BRICK
41	BOARD UNIT
42	REPLACE PULL BOX COVER IF RUSTED
43	NEW ROOF GUTTER
44	WOOD BACKPACK HANGER, WHERE OCCURS
45	METAL PLATE
46	NEW METAL DOWNSPOUT
47	STOREFRONT GLASS PANE - PAINTED
48	WOOD BEAM
49	METAL FASCIA

REPAIR KEYED NOTES

- AREA OF DAMAGED / CRACKED PLASTER - REPAIR AND PATCH WITH NEW PLASTER TO MATCH (E).
- BRICK INFILL OR DISCOLORED BRICK - LIGHTLY VAPORBLAST ENTIRE BRICK WALL SURFACE. COAT WITH ANTI-GRAFFITI GOINGS - INSPECT ALL BRICK WORK PRIOR TO PROCEEDING.
- DAMAGED / CRACKED BRICK / CONCRETE - REPLACE OR PATCH TO MATCH (E).
- EXPOSED CONCRETE LINTEL - REPAIR CRACKS IF ANY. PAINT TO MATCH ADJACENT BRICK COLOR.
- DAMAGED WOOD PANELING - REMOVE AND REPLACE WITH NEW WOOD PANELING.
- CRACKED / DAMAGED WINDOW PANE - REMOVE AND REPLACE WITH NEW GLASS TO MATCH EXISTING.
- DAMAGED WOOD FASCIA - REMOVE AND REPLACE WITH NEW WOOD FASCIA TO MATCH EXISTING. REPLACE METAL DRIP EDGE AS REQUIRED WHERE DAMAGED. DETAIL 8/13.0 SIM.
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- DAMAGED METAL GUTTER - REMOVE AND REPLACE AS NEEDED WITH NEW METAL GUTTER - DETAIL 7/3.0 PATCH WHERE GUTTER WAS REPLACED AND PATCH ROOFING AS NEEDED.
- DAMAGED DOWNSPOUT - REMOVE AND REPLACE AS NEEDED WITH NEW DOWNSPOUT TO MATCH (E).
- DOWNSPOUT - PROVIDE MISSING / DAMAGED CONNECTION FROM GUTTER TO DOWNSPOUT. SEE DETAIL 1/13.0.
- DAMAGED VENT - REMOVE AND REPLACE WITH NEW TO MATCH (E) FOR SOFFIT VENT. REMOVE PORTION OF ADJACENT PLASTER OR WOOD AS REQUIRED AND PROVIDE NEW PLASTER / WOOD WHERE REMOVED - SEE DETAIL 7/3.0.
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- REMOVE (E) LOUVERED OPENING AND PROVIDE NEW - SEE DETAIL 13 & 14 / 13.0.
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- SCHOOL ADHESIVE LOGO - REMOVE - DISTRICT TO REPLACE WITH NEW ADHESIVE LOGO / STICKER.
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COLOR NOTES

COLOR / MANUFACTURER

A	ACCENT COLOR DUNN EDWARDS - "LAKE CENTER BLUE" EVSH50-2 EVERSHELD EXT S/G
B	BASE COLOR DUNN EDWARDS - "THATCHED ROOF" DE6177
C	GLASS SEALER "STONEONE" 44GF-1 BY EPIMAR (2-GOATS)
D	PAINT COLOR TO MATCH (E) BRICK FROM DUNN EDWARDS TO BE DECIDED BY DISTRICT

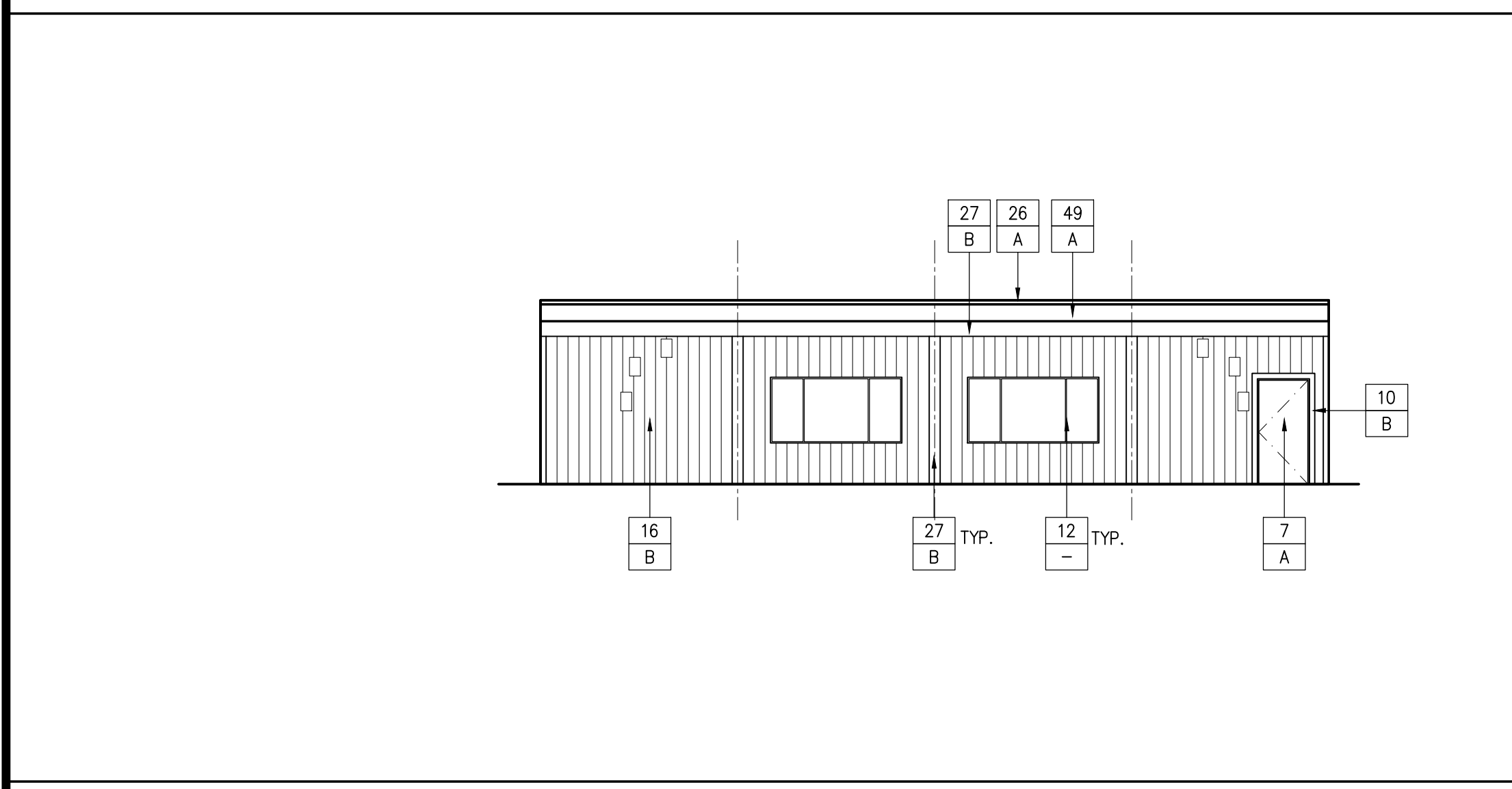
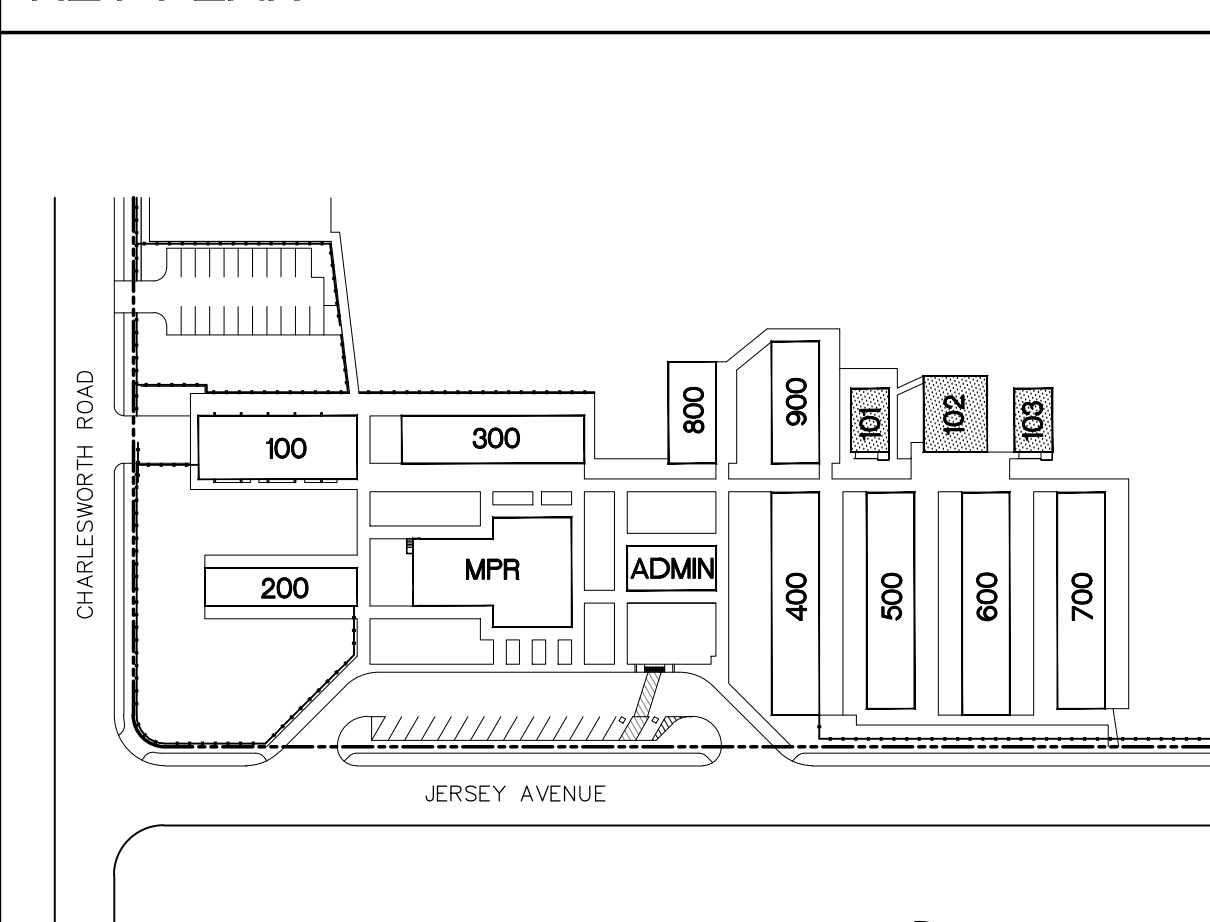
LEGEND

6	MATERIAL INDICATION
A	COLOR INDICATION

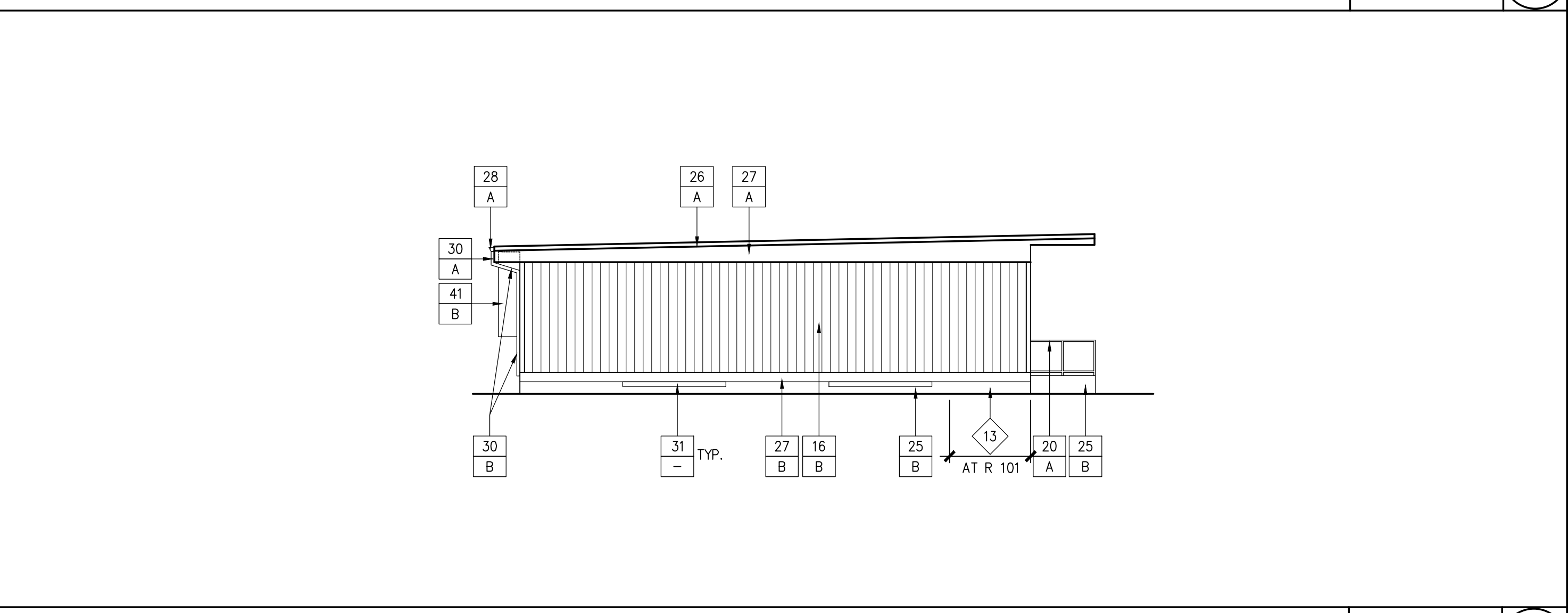
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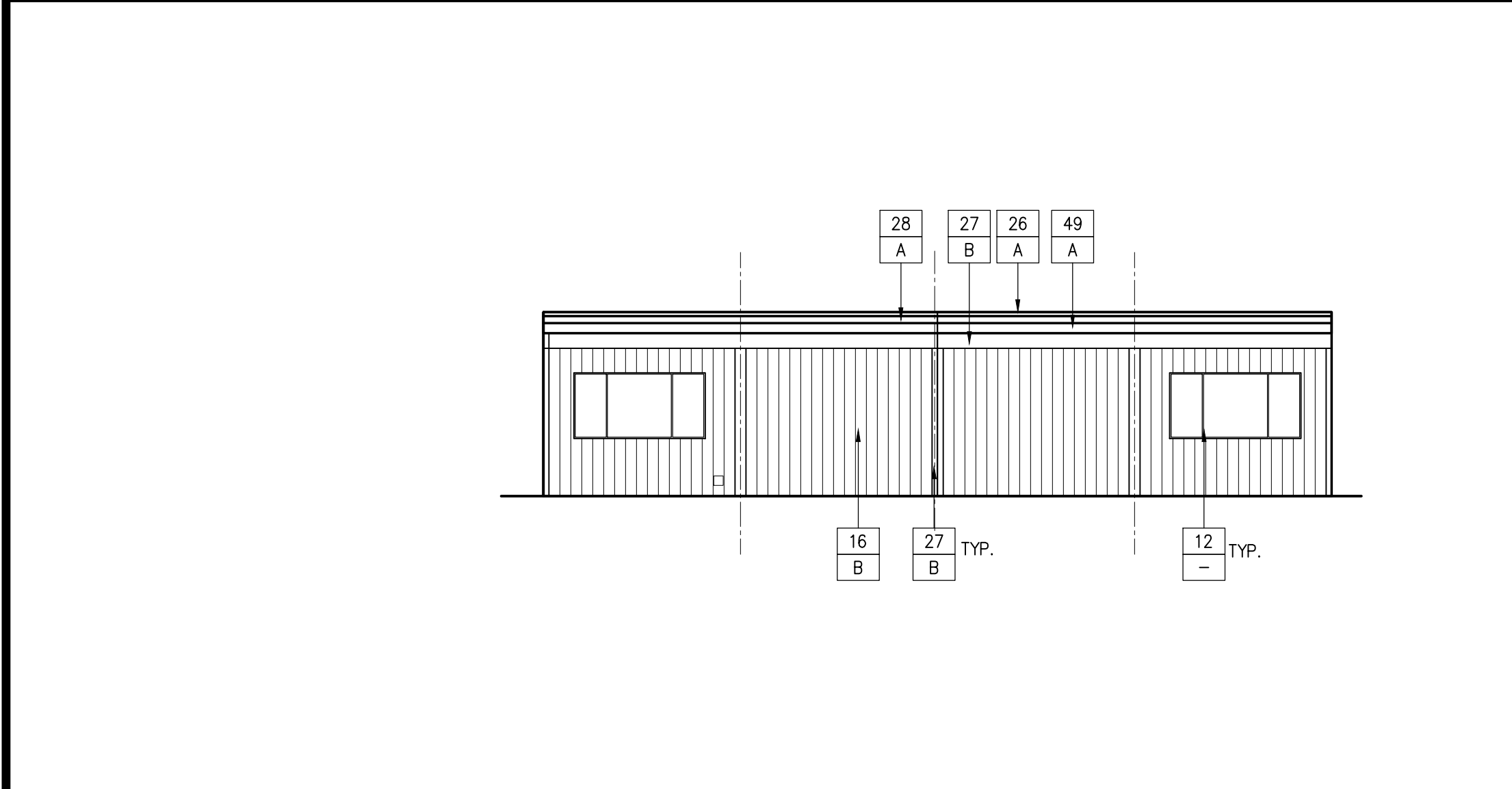
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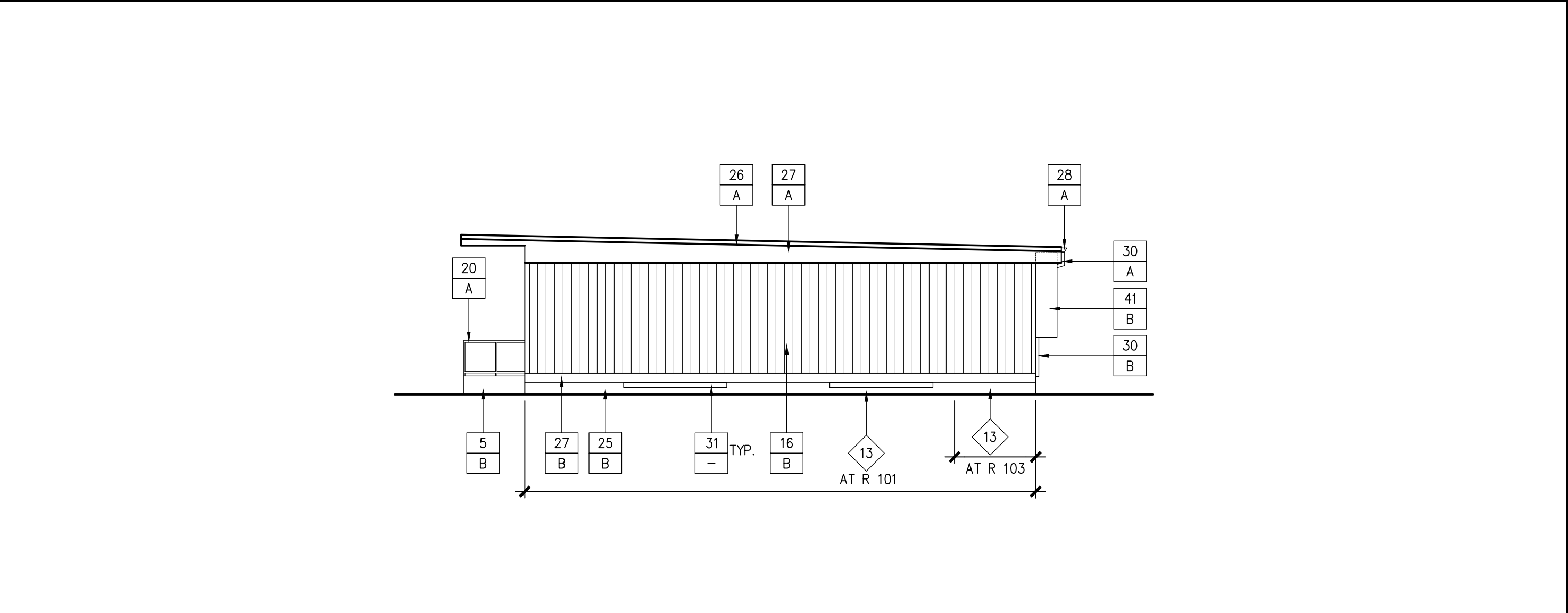
40X48 RELO - FRONT ELEVATION SCALE: 1/8" = 1'-0" 7



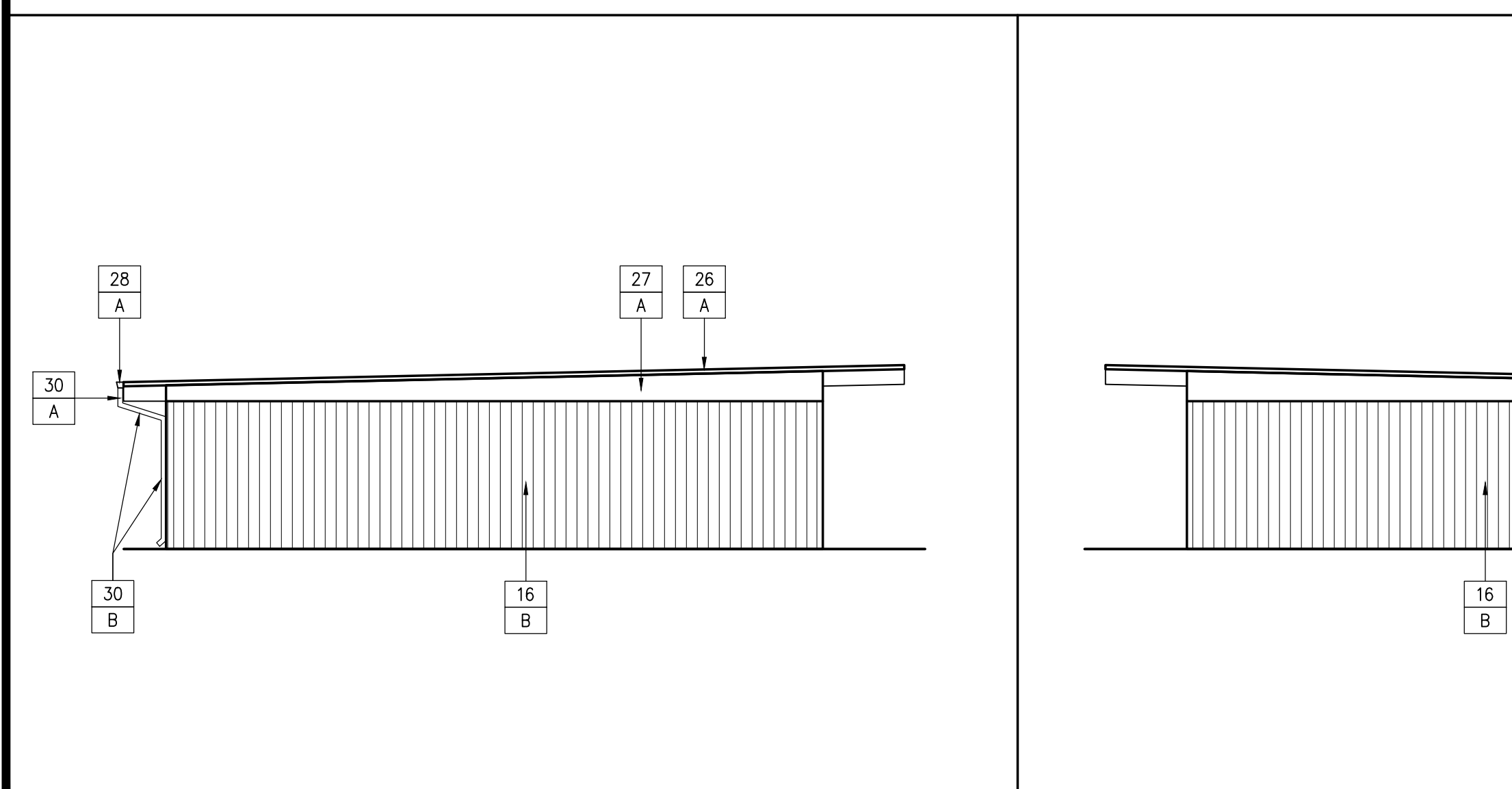
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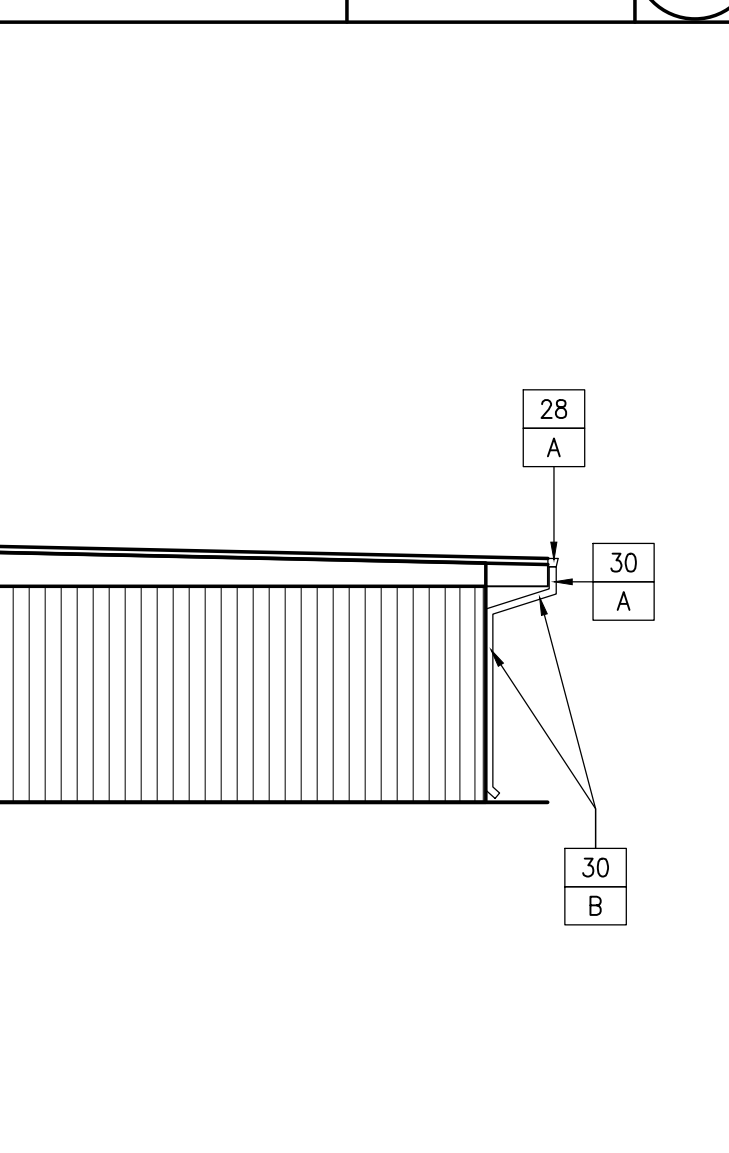
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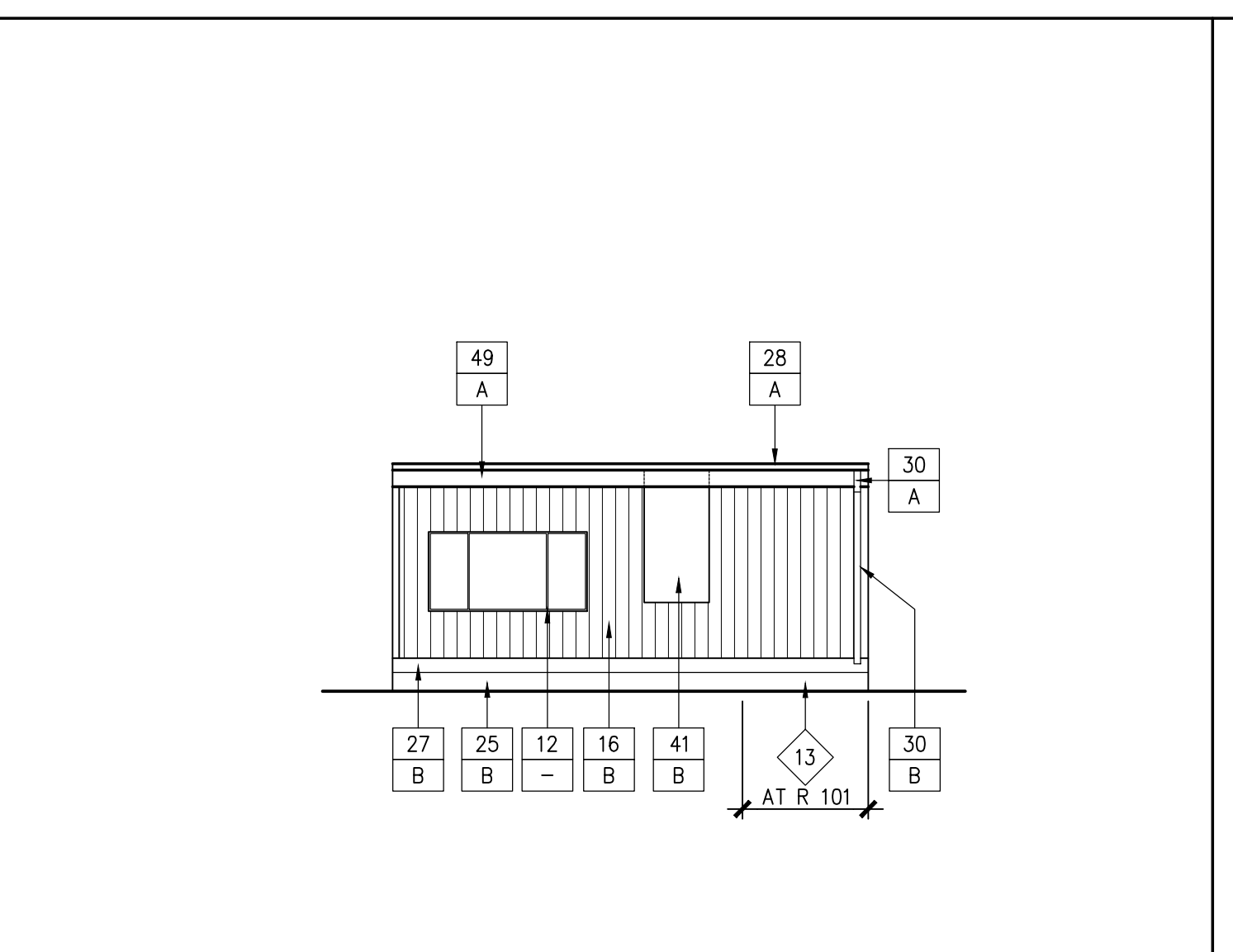
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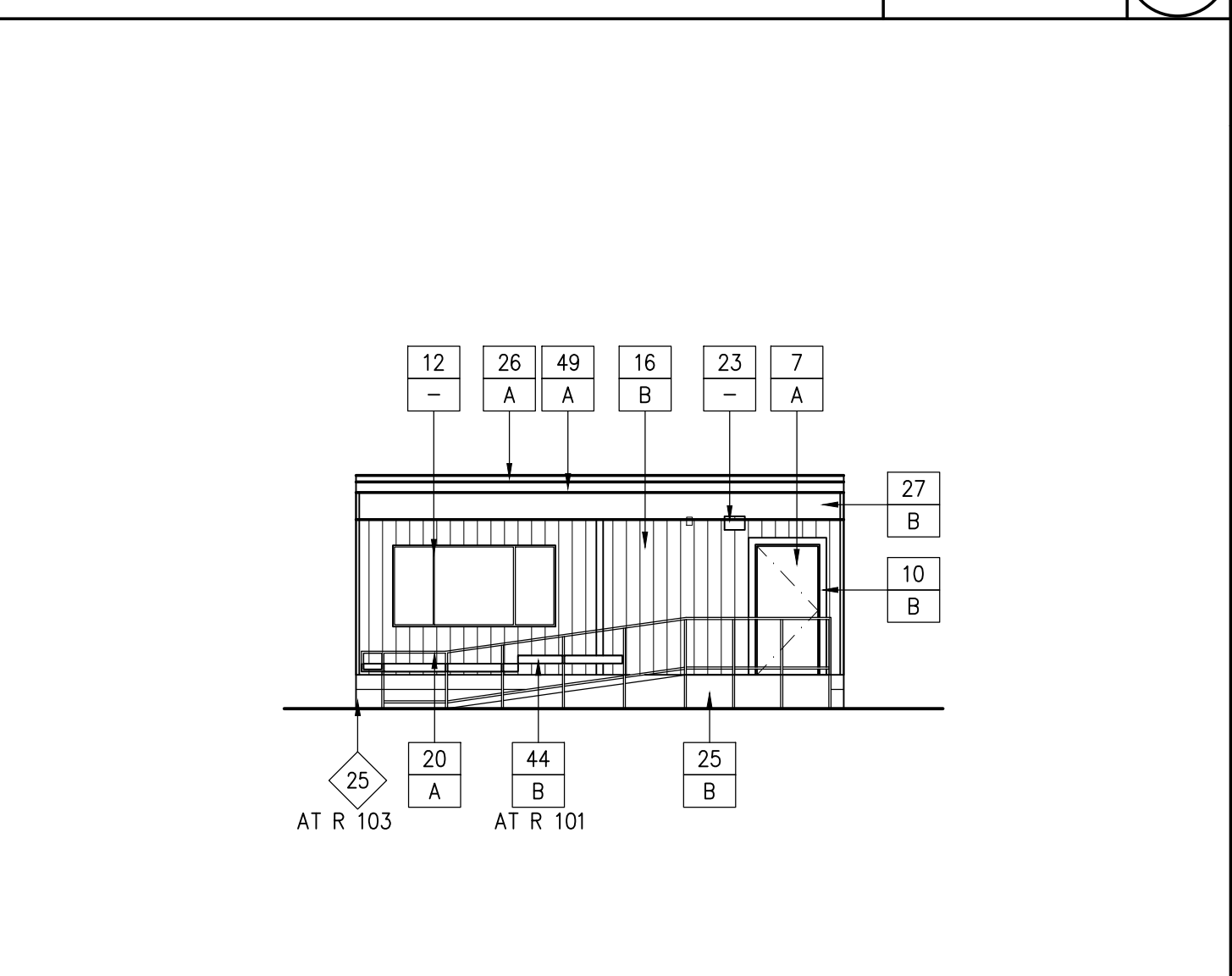
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40X48 RELO - RIGHT SIDE ELEVATION SCALE: 1/8" = 1'-0" 9



24X40 RELO - REAR ELEVATION SCALE: 1/8" = 1'-0" 5



24X40 RELO - FRONT ELEVATION SCALE: 1/8" = 1'-0" 4

NO.	DATE	REVISION	BY

DATE: 03/11/22
 JOB NO.: 180104
 DESIGNED BY: KC
 DRAWN BY: KC
 CHECKED BY: JP

ZIEMBA + PRIETO ARCHITECTS
 401 South Clemons Boulevard • Suite 400 • Burbank, CA 91502
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LITTLE LAKE CITY SCHOOL DISTRICT
 10515 S. PIONEER BLVD.
 SANTA FE SPRINGS, CA 90670

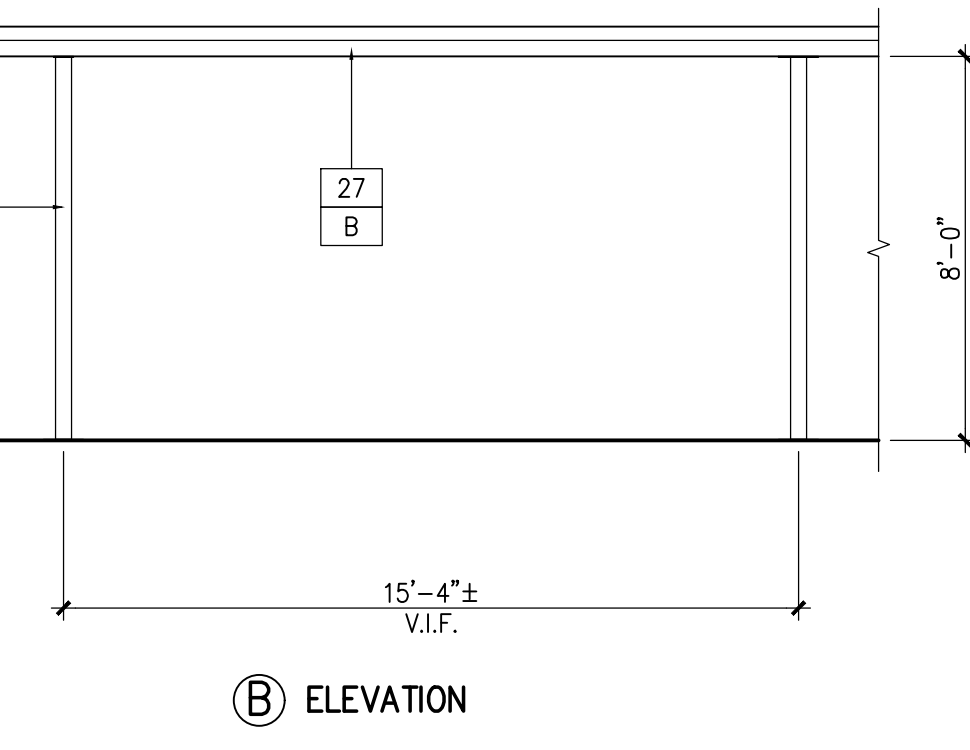
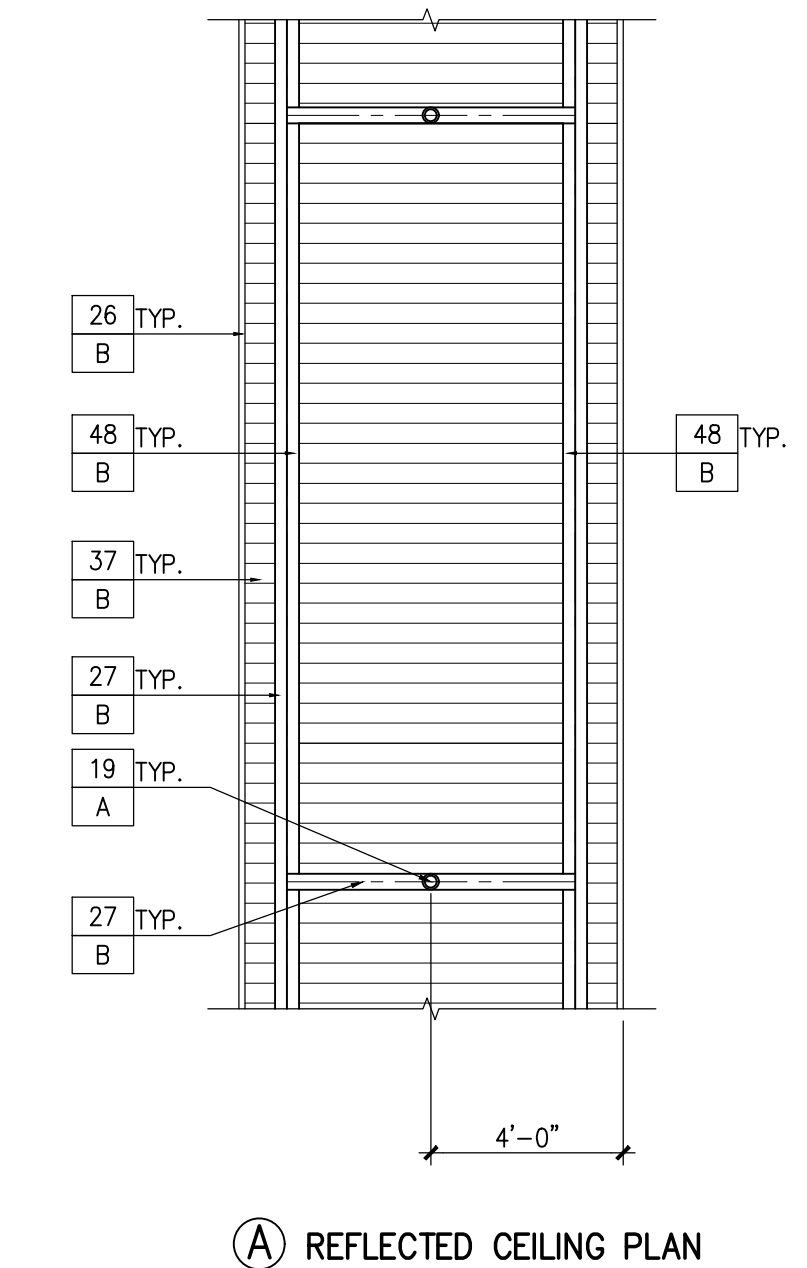
DISTRICT WIDE PAINTING PROJECT
 JERSEY AVENUE ELEMENTARY SCHOOL
 9400 JERSEY AVENUE,
 SANTA FE SPRINGS, CA 90670

LICENSED ARCHITECT
 C-33216
 RENEWAL DATE
 NOV. 30, 2023
 STATE OF CALIFORNIA

SHEET NO.
A4.5-E

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XXX	SCALE ---	X	XXX	SCALE ---	X
XXX	SCALE ---	X	XXX	SCALE ---	X
XXX	SCALE ---	X	XXX	SCALE ---	X
XXX	SCALE ---	X	XXX	SCALE ---	X



COVERED WALKWAY

CONSTRUCTION KEYED NOTES

(ALL ITEMS INDICATED ARE EXISTING UNLESS NOTED.)

1 PLASTER	26 METAL FLASHING/COPING
2 BRICK - SEALED / EXPOSED	27 STEEL FRAMING
3 BRICK - PAINTED	28 METAL-GUTTER
4 CONCRETE	29 SLOPPER
5 PLYWOOD PANELING ON WALL / UNDERSIDE OF ROOF OVERHANG	30 STEEL / SHEET METAL DOWNSPOUT
6 STOREFRONT SYSTEM	31 VENT WITH METAL MESH SCREEN / GRATE
7 METAL DOOR / FRAME	32 SCHOOL NAME ADHERED METAL LETTERING
8 WOOD DOOR / FRAME	33 BULLETIN BOARDS/SIGNAGE/ETC.
9 DOOR - STOREFRONT	34 FIRE EXTINGUISHER / FIRE HOSE ALDOVE
10 WOOD TRIM / FRAME	35 CHAINLINK FENCING/GATES - METAL SCREEN
11 WINDOW FRAME - WOOD	36 WROUGHT-IRON FENCING/GATES
12 WINDOW FRAME - METAL	37 UNDERSIDE OF ROOF OVERHANG / COVERED WALKWAY - 1X6 SHIP LAP SIDING
13 GLAZED STOREFRONT WINDOW SYSTEM - METAL	38 UNDERSIDE OF ROOF OVERHANG / COVERED WALKWAY - CEMENT PLASTER
14 WOOD FASCIA	39 UNDERSIDE OF ROOF OVERHANG / COVERED WALKWAY - EXPOSED WOOD FRAMING
15 LOUVER - METAL / WOOD	40 UNDERSIDE OF COVERED WALKWAY / LUNCH SHELTER - CORRUGATED METAL
16 WOOD SIDING	41 BARD UNIT
17 PLANTER - CONCRETE	42 REPLACE PULL BOX COVER IF RUSTED
18 PLANTER - BRICK	43 NEW ROOF GUTTER
19 STEEL TUBE/PIPE COLUMN	44 WOOD BACKPACK HANGER
20 PIPE RAILING	45 METAL PLATE
21 DRINKING FOUNTAIN	46 NEW METAL DOWNSPOUT
22 CERAMIC TILE WAINSCOT	47 STOREFRONT GLASS PANE PAINTED
23 LIGHT SPEAKER ELECTRICAL BOX ETC.	48 WOOD BEAM
24 SIGNAGE - REPLACE AS REQUIRED - 1/2" MATCH GAINING	49 METAL FASCIA
25 WOOD SKIRTING	

REPAIR KEYED NOTES

- 1 AREA OF DAMAGED / CRACKED PLASTER. REPAIR AND PATCH WITH NEW PLASTER TO MATCH (E).
- 2 BRICK INFILL OR DISCOLORED BRICK. LIGHTLY VAPORBLAST ENTIRE BRICK WALL SURFACE. COAT WITH ANTI-GRAFFITI COATING. INSPECT ALL BRICK WORK PRIOR TO PROCEEDING.
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- 9 DAMAGED METAL GUTTER. REMOVE AND REPLACE AS NEEDED WITH NEW METAL (/713.0 PATCH WHERE GUTTER WAS REPLACED AND PATCH ROOFING AS NEEDED.
- 10 DAMAGED DOWNSPOUT. REMOVE AND REPLACE AS NEEDED WITH NEW DOWNSPOUT TO MATCH (E).
- 11 DOWNSPOUT. PROVIDE MISSING / DAMAGED CONNECTION FROM GUTTER TO DOWNSPOUT. SEE DETAIL 1/713.0
- 12 DAMAGED VENT REMOVE AND REPLACE WITH NEW TO MATCH (E). FOR SOFFIT VENT, REMOVE PORTION OF ADJACENT PLASTER OR WOOD AS REQUIRED AND PROVIDE NEW PLASTER / WOOD WHERE REMOVED. SEE
- 13 DAMAGED WOOD SKIRTING REMOVE AND REPLACE WITH NEW SKIRTING AS NEEDED TO MATCH (E).
- 14 REMOVE AND REPLACE DAMAGED BACKPACK HANGER WOOD PLATE.
- 15 REMOVE (E) LOUVERED OPENING AND PROVIDE NEW. SEE DETAIL 13 & 14/713.0.
- 16 SAW CUT UNUSED METAL POST ABOVE FINISH GRADE AND CAP THE OPENING. PROTECT THE CONCRETE AND WALL AROUND THE POST FROM ANY DAMAGE DURING REMOVAL.
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COLOR NOTES

COLOR / MANUFACTURER

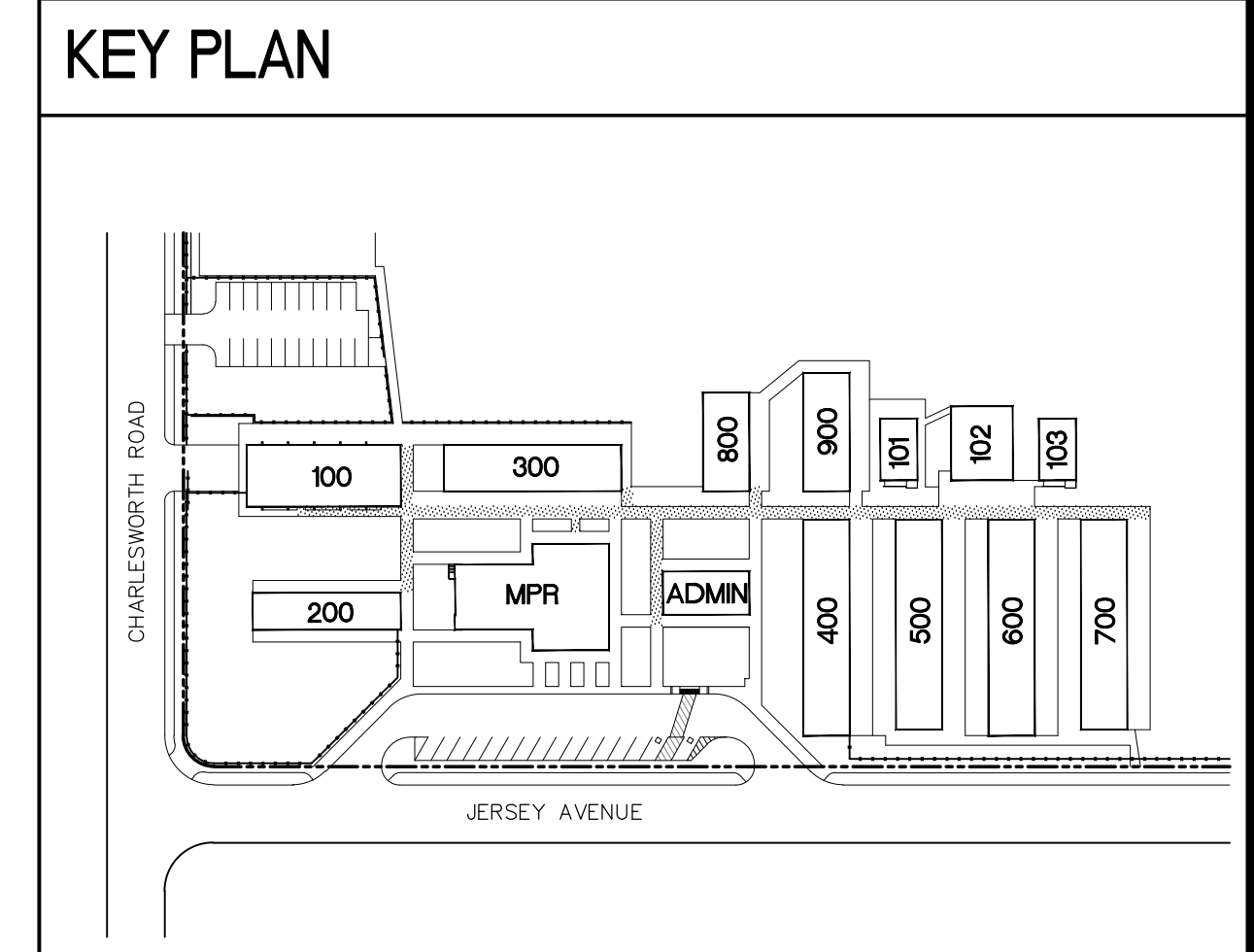
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- B BASE COLOR DUNN EDWARDS - "THATCHED ROOF" DE6177
- C CLEAR SEALER "STONEONE" 44GF-1 BY EPMAR (2-GOATS)
- D PAINT COLOR TO MATCH (E) BRICK FROM DUNN EDWARDS TO BE DECIDED BY DISTRICT

LEGEND

- 6 - MATERIAL INDICATION
- A - COLOR INDICATION

TYP. PAINTING + CONSTRUCTION NOTES

1. ALL REPAIR WORK INDICATED IN REPAIR KEYED NOTES TO BE DONE PRIOR TO START OF PAINTING WORK.
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SCALE: NONE

NO.	DATE	REVISION	BY

DATE: 03/11/22	JOB NO.: 180104	DESIGNED BY: KC	DRAWN BY: KA
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COVERED WALKWAY EXTERIOR REFLECTED CEILING PLAN / ELEVATIONS AND DETAILS

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 9400 JERSEY AVENUE,
 SANTA FE SPRINGS, CA 90670

LICENSED ARCHITECT
 C-33216
 RENEWAL DATE
 NOV. 30, 2023
 STATE OF CALIFORNIA

SHEET NO.
A5.0-E